

**MANASQUAN PLANNING BOARD MEETING AGENDA  
CONDUCTED WITH ZOOM  
SEPTEMBER 21, 2021 4:00 PM – TUESDAY**

**Join Zoom Meeting**

<https://zoom.us/j/2610095007?pwd=d01aMVlrY0hINVFGd25RcGpyZS83QT09>

**OR**

**Tel – 1-646 876 9923 US (New York)**

**ID # 261 009 5007**

**Password 281 797**

Please take notice that the Manasquan Planning Board will convene a remote meeting on September 21, 2021 4:00 PM. (The Board had previously advertised the said meeting, but the within notice is being re-advertised so as to publicize the remote nature of the same.) Due to the Coronavirus/COVID-19 Borough and State Directives, the said meeting is being held remotely, through a web-meeting conference communication system. The remote meeting format will allow Board Members and the Public to simultaneously hear, listen to, participate in, digest, observe, comment on, and/or otherwise object to any and all Board decisions/actions. The remote meeting format, as aforesaid, will allow the Borough's Planning Board to conduct business, without violating any Executive Orders, without violating any COVID-19 Health and Safety Protocol, and while still complying with the spirit and intent of Prevailing Provisions of New Jersey Law. (Please note that the public access to the Municipal Building is not currently permitted).

Members of the public are welcome to, and encouraged to, participate by observing/participating in the remote meeting. The meeting will be held via Zoom. You can access the meeting through the Zoom App via a smartphone or tablet, via a special link on your computer, or by telephone. Note the information printed above.

**PUBLIC MEETING**

Salute to the Flag

Roll Call

Sunshine Law Announcement

**OLD/NEW BUSINESS**

1. Approval of Vouchers
2. Ordinance 2365-21 Amending Chapter 35 Zoning

**RESOLUTION**

3. #45-2021 - Ferchak, Laura & bill - 7 Meadow Avenue - Application #29-2021

**APPLICATION**

4. #40-2021 21 Cosentino, Jaycee & Eleanor, 21 McGreevey - Block 44.04 - Lot 6
5. #35-2021 Cinfio, Janet & Scott, NJDMDC, LLC - 337 Beachfront/336 First Avenue (Carried from 8/17/21)

**OTHER BUSINESS**

Comments from individual board members

**ADJOURNMENT**

**BOROUGH OF MANASQUAN  
ORDINANCE NO. 2365-21**

**ORDINANCE AMENDING AND  
SUPPLEMENTING CHAPTER 35 (ZONING)  
SECTION 35-11 (LOT, HEIGHT AND YARD  
REQUIREMENT) AND SECTION 35-11.2  
(PRINCIPAL BUILDINGS) OF THE BOROUGH  
OF MANASQUAN CODE IN THE BOROUGH OF  
MANASQUAN, COUNTY OF MONMOUTH,  
STATE OF NEW JERSEY**

**WHEREAS**, pursuant to the Revised General Ordinance of the Borough of Manasquan Code section 35-11.2 refers to Principal Buildings; and

**WHEREAS**, the Manasquan Borough Council of the Borough of Manasquan is desirous of amending section 35-11.2 Principal Building requirements in Residential Zones in the Borough of Manasquan

**NOW THEREFORE BE IT ORDAINED AS FOLLOWS:**

**Section 1:** Chapter 35, Section 35-11 entitled Lot, Height and Yard Requirements and Section 11.2 entitled Principal Buildings of the Revised General Ordinances of the Borough of Manasquan is amended and shall read as follows:

35-11.2 Principal Buildings

- I. Only one (1) principal building shall be permitted on each lot, except in conjunction with townhouse and planned multi-family residential development.
- II. Two (2) principal buildings shall be permitted on a lot in the R-4 Beachfront One-Family Residential Zone provided that:
  - a. A garage with a second floor living unit shall front on First Avenue and a single-family residential dwelling shall front on the beachfront.
  - b. The minimum lot width shall be thirty (30) feet.
  - c. The minimum lot area shall be four thousand two hundred (4,200) square feet.
  - d. The building facing the beachfront shall be set back a minimum distance of fifteen (15) feet from the front property line.
  - e. The garage apartment building facing First Avenue shall be set back a minimum distance of ten (10) feet from that property line.
  - f. The two (2) buildings shall be separated a minimum distance of thirty-five (35) feet from each other.
  - g. The maximum height of the garage apartment building facing First Avenue shall be thirty-two (32) feet.
  - h. The maximum height of the single-family dwelling facing the beachfront shall be thirty-eight (38) feet for conforming lots and thirty-three (33) feet for non-conforming lots.
  - i. The first-floor garage area of the building facing First Avenue shall provide an interior parking area for at least two (2) motor vehicles. Any excess first floor area may be used for storage purposes; except vertical

access to the second floor; provided, however, no living area is permitted on the first-floor garage area.

- j. The garage apartment building facing First Avenue shall have a walkway, with a minimum width of three (3) feet, to provide access to the beachfront.
- k. Each building shall be serviced by separate water and sewer lines.
- l. No single dormer shall exceed ten (10) feet in length measured along the fascia.
- m. All dormers, except stairwell and/or elevator dormers must be stepped back a minimum of two (2) feet from the exterior wall beneath it.
- n. Half story must comply with the requirements outlined in Section 35-3.
- o. The property shall comply with all other standards applicable in the R-4 Zone.

**Section 2:** Construction and effective date

- (a) Should any section or provision of this ordinance be held invalid in any proceedings, the same shall not affect any other section or provision of this ordinance, except insofar as the section or provisions so held invalid shall be inseparable from the remainder of any such section or provision.
- (b) Chapter 97, et seq., of the Borough of Manasquan Code and all ordinances and parts of ordinances inconsistent with this Ordinance herewith are hereby repealed.
- (c) This ordinance shall become effective following its final passage and publication according to the law.

**NOTICE**

**PUBLIC NOTICE IS HEREBY GIVEN** that Ordinance No. 2365-21 is being introduced at a meeting of the Mayor and Council of the Borough of Manasquan on the 7<sup>th</sup> day of September 2021 and read for the first time. The said Ordinance is going to be considered for final passage by the Mayor and Council at Borough Hall, 201 East Main Street, Manasquan, NJ 08736 at 7:00 p.m. on the 4<sup>th</sup> day of October 2021. At such time and place, or at any such time or place to which said meeting may be adjourned, all interested persons will be given an opportunity to be heard concerning said ordinance. A copy of this ordinance can be obtained without cost by any member of the general public at the office of the Municipal Clerk in Borough Hall between the hours of 9:00 a.m. and 4:00 p.m. on Monday through Friday, except on legal holidays.

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**BARBARA ILARIA, RMC, CMC**  
**Municipal Clerk**

Mark G. Kitrick, Esquire  
Municipal Attorney  
2329 Route 34 S  
Suite 104  
Manasquan, NJ 08736

Passed on First Reading and Introduction: September 7, 2021  
Approved on Second Reading and Final Hearing: October 4, 2021

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**Edward G. Donovan**  
**Mayor**

August 11, 2021

Mary Salerno, Secretary  
Manasquan Borough Planning Board  
201 East Main Street  
Manasquan, NJ 08736

Re: Boro File No. MSPB-R1680  
Variance – Constantino  
Block 44.04, Lot 6  
21 McGreevey Drive  
R-2 Single-Family Residential Zone  
Borough of Manasquan, Monmouth County, NJ

Dear Ms. Salerno:

As per your request, I have reviewed the above-referenced application in accordance with the provisions of the Borough Land Development Ordinance. The documents reviewed in conjunction with this application include:

1. Survey of Property prepared by John Yuro, PLS, dated December 17, 1988, which has been modified to show the location of the proposed generator.
2. Price Quote & Design Sketches prepared by Mikulka Electric, dated September 23, 2020

The property is located in the R-2 Single-Family Residential Zone with frontage on McGreevey Drive. With this application, the applicant proposes to construct an emergency generator in the northerly side yard. The application is deemed complete as of August 11, 2021.

The following are our comments and recommendations regarding this application:

1. The property is located in the R-2 Single Family Residential Zone. The existing and proposed residential use is permitted in the zone.
2. The following bulk ('c') variance is required as part of this application:
  - a. A standby generator must be located in the rear yard and not project beyond the side building lines of the principal building, whereas the proposed generator is to be located within the side yard, outside the building envelope. The applicant should be prepared to indicate the exact proposed setback to the property line.
3. The generator must be screened from view of adjacent properties. The applicant should explain how the generator will be screened

Re: Boro File No. MSPB-R1680  
Variance – Costentino  
Block 44.04, Lot 6

August 11, 2021  
Sheet 2

4. The applicant should indicate if there are any proposed grading changes to the property or increase in impervious coverage (i.e. concrete pad) as a result of the installation of the generator.
5. All necessary building permits must be obtained prior to construction.

Should you have any questions or desire any additional information, please do not hesitate to contact me.

Very truly yours,



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ALBERT D. YODAKIS, P.E., P.P.  
PLANNING BOARD ENGINEER  
BOROUGH OF MANASQUAN

ADY:jy

cc: George McGill, esq., Planning Board Attorney  
Eleanor Costentino  
21 McGreevey Drive, Manasquan, NJ 08736

BOROUGH HALL  
201 EAST MAIN STREET

Incorporated December 30, 1887

732-223-0544  
Fax 732-223-1300

EDWARD G. DONOVAN  
Mayor

CONSTRUCTION DEPARTMENT

FRANK F. DIROMA  
Supervisor of Code Enforcement

THOMAS F. FLARITY  
Municipal Administrator

BOROUGH OF MANASQUAN  
COUNTY OF MONMOUTH  
NEW JERSEY 08736

STEVEN J. WINTERS  
Construction Official

**APPLICATION TO THE PLANNING BOARD**

\*Applicant's Name: Jaycee & Eleanor Cosentino

\*Applicant's Address: 21 Mc Greevey Dr. , Manasquan NJ 08734

\*Telephone Number: Home: — Cell: 732.299.8249

\*e-mail Address: ellencosentino03@gmail.com

\*Property Location: 21 McGreevey Dr. , Manasquan NJ 08736

\*Block: 44.04 Lot: 6

\*Type of Application: Bulk variance  
Bulk Variance, Non-Permitted Use- Conditional Use- Subdivision- Minor Subdivision- Major-  
Site Plan Approval

\*Date of Zoning Officer's Denial Letter: 7/28/2021  
Attach Zoning Permit Application

\*Plot Plan (Survey) not older than five (5) years, clearly indicating all buildings and setbacks.

\*Is the Applicant the Landowner? yes

\*Does the Applicant own any adjoining land? no

\*Are the property taxes paid to date? yes

\*Have there been any previous applications to the Planning Board concerning this property? NO  
(Attach copy)

\*\*Are there any Deed Restrictions, Easements, or Covenants affecting this  
property? NO  
(Attach copy)

\*The applicant agrees to be responsible for and pay for the costs entailed in the review of this  
application by any experts retained by the Planning Board for advice in this matter.

Jaycee Cosentino  
Eleanor V Cosentino  
Signature of Applicant or Agent

Aug 2-2021  
Date

06/2021

## SCHEDULE C

All that certain lot, piece or parcel of land, with the buildings and improvements thereon erected, situate, lying and being in the Borough of Manasquan, County of Monmouth, State of New Jersey:

BEING all of Lot 6, in Block 44D as shown on map entitled "Emerald Manor, Sec. 1" prepared by George C. Jorgenson and George N. Jorgenson, dated May 24, 1964 filed in the Monmouth County Clerk's Office on June 4, 1964 in Case 60, Sheet 34, being more particularly described as follows:

BEGINNING at a point in the westerly line of McGreevey Drive distant 350.90 feet southerly along the same from its intersection with the southerly line of Sea Girt Avenue and running thence:

- (1) South 33 degrees 44 minutes West along the westerly line of McGreevey Drive, 69.10 feet to a point; thence
- (2) North 56 degrees 16 minutes West, 101.31 feet to a point; thence
- (3) North 33 degrees 44 minutes East, 69.10 feet to a point; thence
- (4) South 56 degrees 16 minutes East, 101.31 feet to the point and place of BEGINNING.

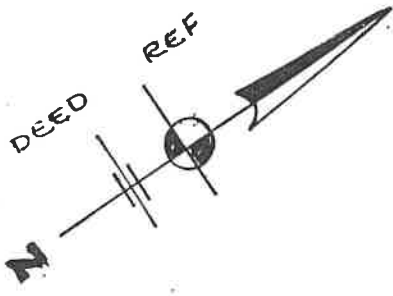
The above description is drawn in accordance with a survey prepared by JY Land Surveying dated December 17, 1988.

NOTE FOR INFORMATION: Also known as Tax Lot 6 in Block 44.04 as shown on the official tax map of the Borough of Manasquan.

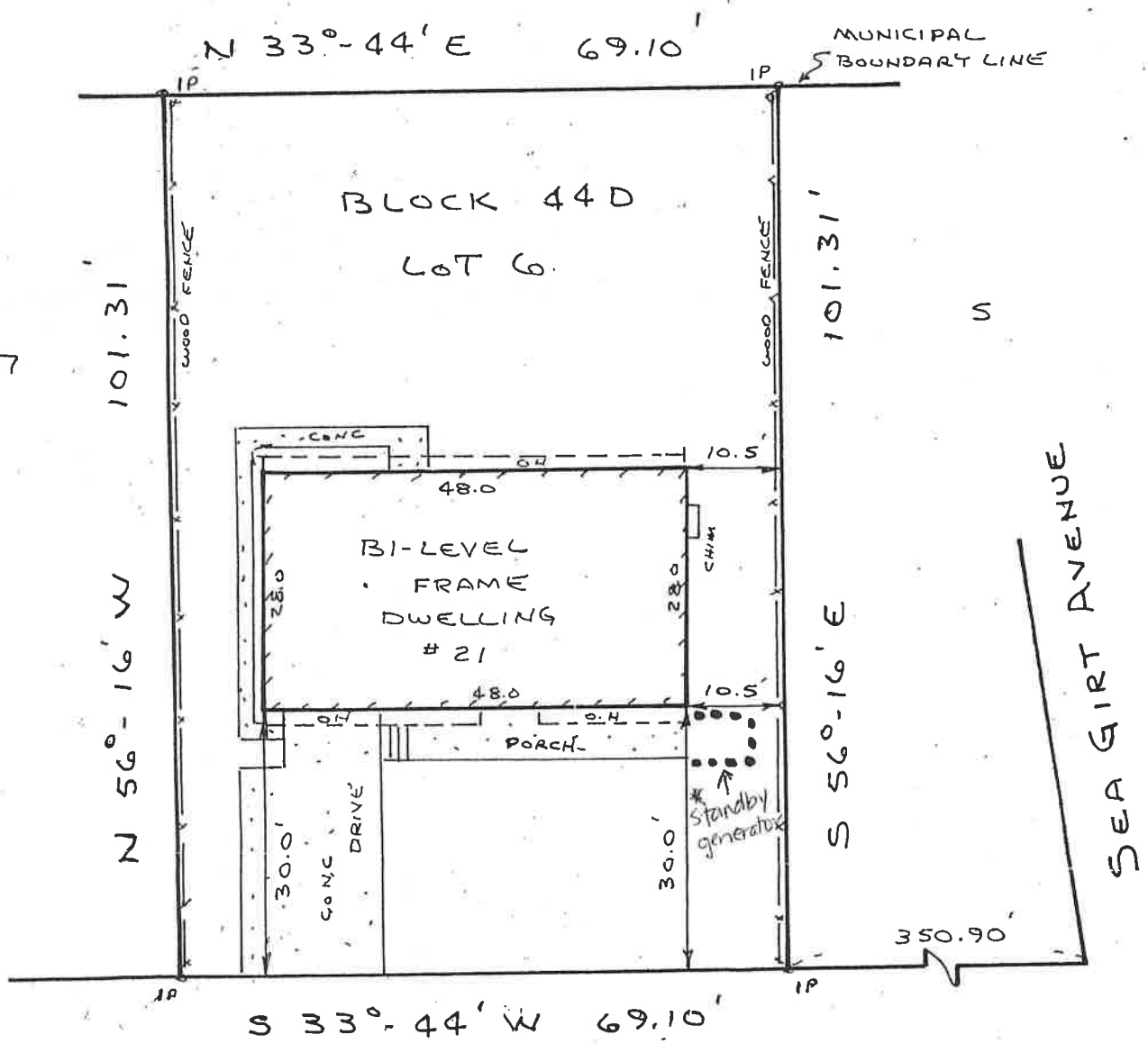
ORIGINAL DOCUMENT POOR QUALITY



# SURVEY OF PROPERTY



WALL TOWNSHIP



## MC GREEVEY DRIVE

PROPERTY KNOWN AS LOT 6  
 BLK 44D ON MAP OF  
 EMERALD MANOR  
 SECTION 1  
 FILED JUNE 4, 1964  
 CASE NO 60-34

By Contractual Agreement  
 No property corners were set unless noted

SKETCH OF

### LOT 6

### BLOCK 44D

Situated in

### MANASQUAN BOROUGH

### MONMOUTH

### COUNTY

### NEW JERSEY

This Survey is Certified To:  
 ROBERT A. BAUER & LINDA R. BAUER, HIW  
 CENTRUST MORTGAGE CORPORATION, A  
 CALIFORNIA CORPORATION, ITS SUCCESSORS AND/OR  
 ASSIGNEES  
 THOMAS E. SHIELDS, ESQ.  
 TRANSAMERICA TITLE INSURANCE COMPANY, *John J. Yuro Jr.*

**JY**

**LAND SURVEYING**

Professional Surveyors & Land Planners  
 4 Walnut Dr. Jackson N.J. 08527 928-3398

### JOHN J. YURO JR.

NJLS No 27504  
 NJPP No 2847

File 5471

Date 12-17-88

Scale 1" = 2'

BOROUGH HALL  
201 EAST MAIN STREET

EDWARD G. DONOVAN  
Mayor

THOMAS F. FLARITY  
Municipal Administrator

Incorporated December 30, 1887

CONSTRUCTION DEPARTMENT

**BOROUGH OF MANASQUAN**  
COUNTY OF MONMOUTH  
NEW JERSEY 08736

732-223-0544  
Fax 732-223-1300

FRANK F. DIROMA  
Supervisor of Code Enforcement

STEVEN J. WINTERS  
Construction Official

Item 4.

July 28, 2021

Eleanor Costentino  
21 McGreevey Drive  
Manasquan, NJ 08736

Re: Block: 44.04 Lot: 6 Zone: R-2

Dear Ms. Costentino:

On this date we reviewed your application for the following project.

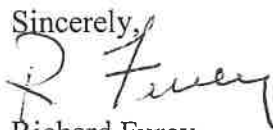
Install a standby generator in the side yard per a survey/site plan prepared by John Yuro on December 17, 1988.

**Application denied for the following reason(s):**

Section 35-11.8j – Prohibits locating a standby generator in the side yard.

If you have any questions, please call me at 732-223-0544, ext. 256

Sincerely,



Richard Furey  
Zoning/Code Enforcement Officer

Street view:

Item 4.

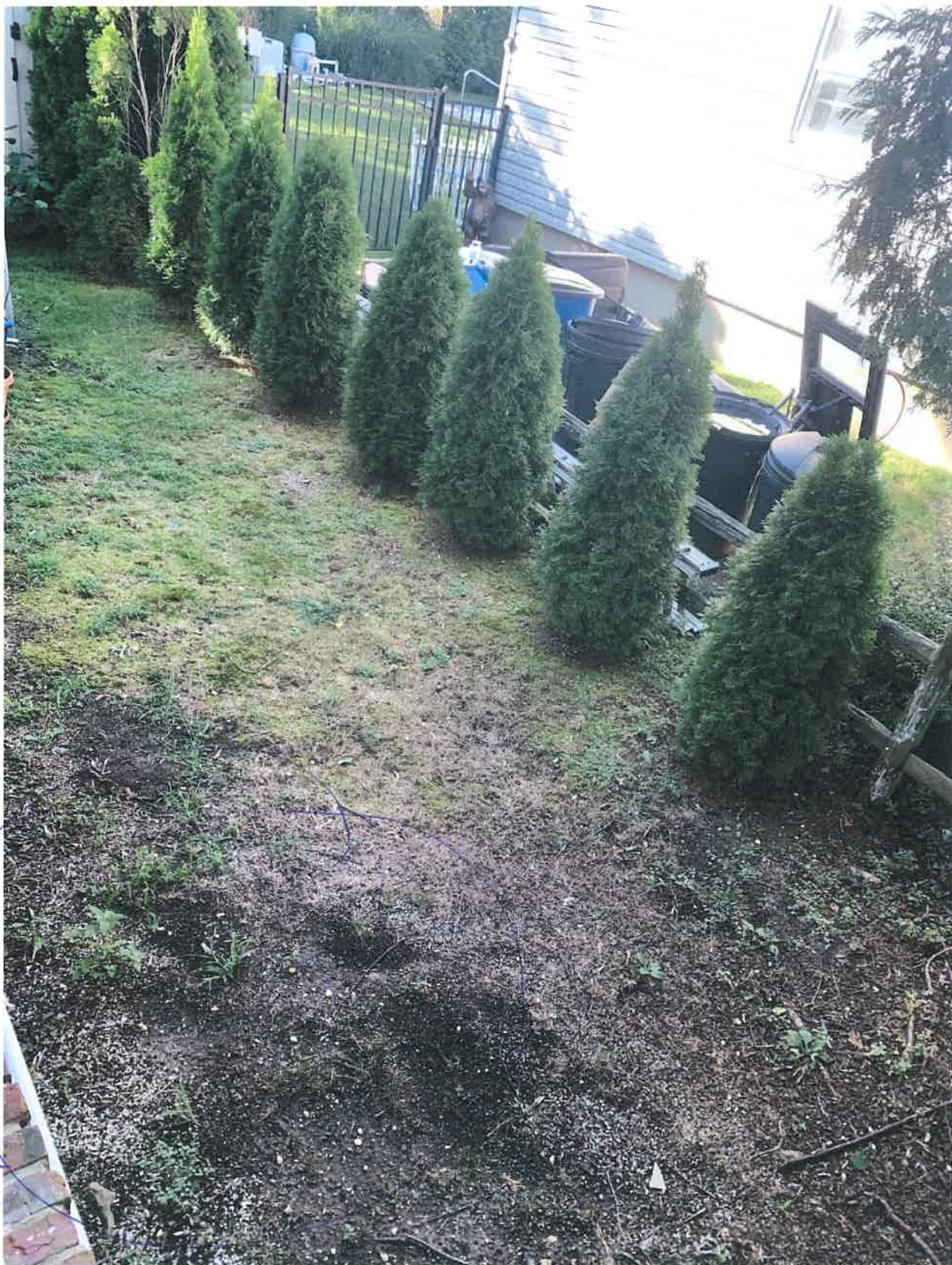








Please note: no grading changes to the property or increase in impervious coverage is required as a result of installation.



→  
location  
of proposed  
generator

greenery lined along our fence looking at neighbors house to north.

2 proposed locations below:  
① will increase cost significantly, impact additional homes  
② dangerous | hazardous location

①



②



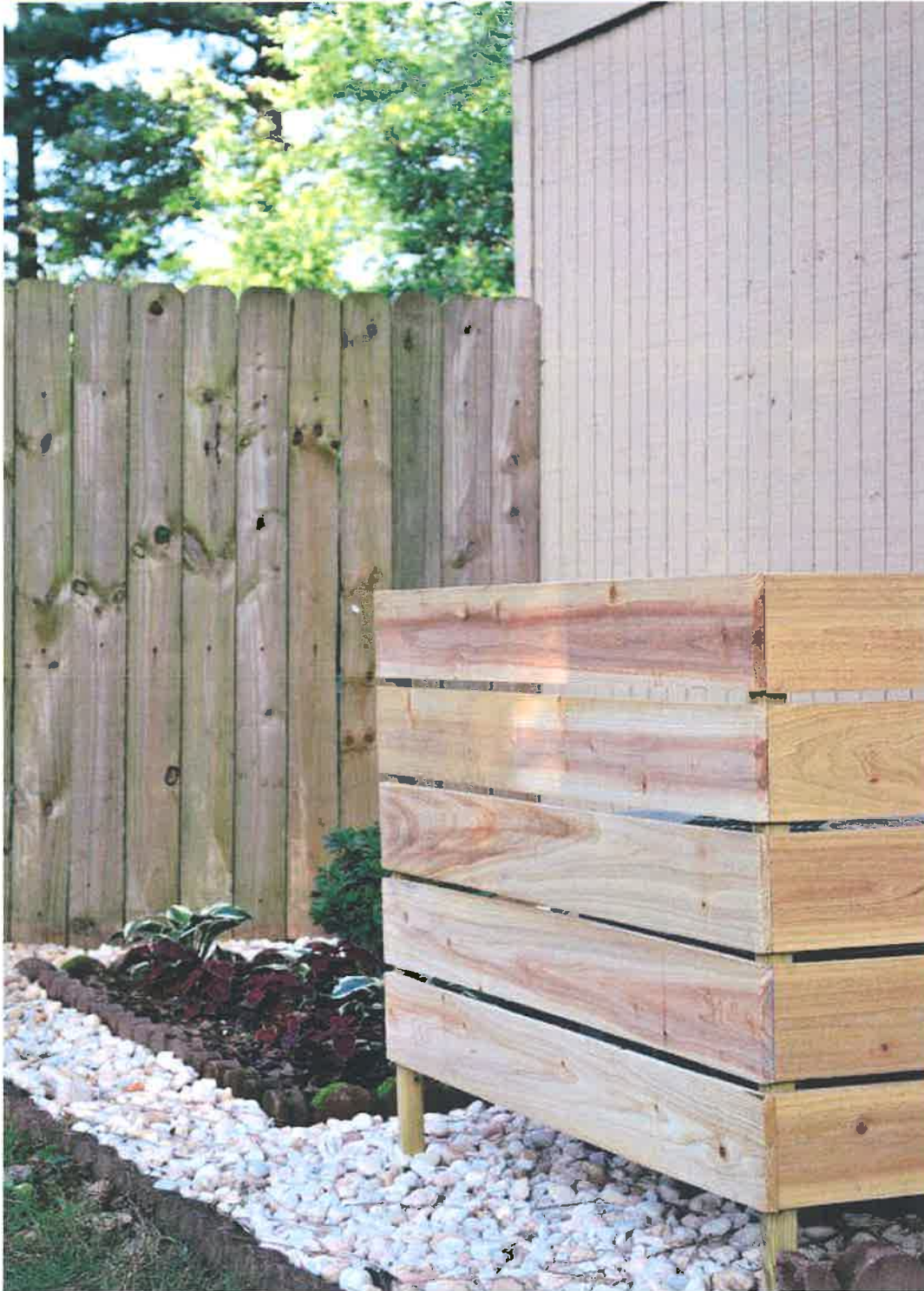


View from neighbor to north looking to our yard



proposed location of generator

WILL BE INSTALLING SOMETHING SIMILAR AROUND THE GENERATOR TO ENSURE IT IS SCREENED FROM VIEW OF ADJACENT PROPERTIES:





Mikulka Electric Inc  
15 Lisa Lane  
Morganville, NJ 07751  
732-363-8954  
[info@mikulka-electric.com](mailto:info@mikulka-electric.com)  
<http://mikulka-electric.com> Lic#15453

# resubmitting from original application (dated 9/23/2020) due to fact that ink color made it difficult to read.

9/3/2021

JAYCEE & ELEANOR COSENTINO  
21 MCGREEVEY DR  
MANASQUAN NJ 08736  
ELLENCOSENTINO03@GMAIL.COM  
(732) 492-7720

DEAR ELLEN & JAYCEE,

IN REGARD TO OUR CONVERSATION CONCERNING THE PROPOSED LOCATION OF YOUR NEW GENERATOR, WE WOULD LIKE TO SHARE THE FOLLOWING:

WE SPOKE TO MR FUREY IN THE ZONING DEPARTMENT AT THE BORO OF MANASQUAN, HE INFORMED US THAT THE PROPOSED LOCATION, NEXT TO ELECTRIC/GAS METER, IS NON-CONFORMING AND THEREFORE OUR APPLICATION WAS REJECTED.

MR FUREY INDICATED THAT THE ONLY CONFORMING LOCATION ON YOUR PROPERTY IS IN YOUR BACKYARD. IN CONSIDERATION OF THE EXISTING PATIOS, WALKWAYS, AND RECREATIONAL OUTDOOR SPACE, THE ONLY CONFORMING LOCATION WE CAN DETERMINE IS IN AN AREA LOCATED IN THE CENTER OF YOUR BACKYARD. THIS NEW LOCATION REQUIRES APPROX 135' OF EXCAVATION AND UNDERGROUND INSTALLATION OF GAS PIPING AND ELECTRICAL WIRING.

THIS NEW PROPOSED AREA WILL SIGFICANTLY INCREASE THE PRICE OF OUR ORIGINAL PROPOSAL BY \$9,000.00.

TO THAT END, I AM NOT SURE IF MANASQUAN WOULD HAVE ANY TOLERANCE FOR A VARIANCE, IT IS MY OPINION THAT YOUR PROPERTY WOULD BE A GOOD CANDIDATE, FOR A VARIANCE, DUE TO THE HARDSHIP YOU ARE NOW FACED WITH. OUTLINED IN THE FOLLOWING:



Mikulka Electric Inc  
15 Lisa Lane  
Morganville, NJ 07751  
732-363-8954  
info@mikulka-electric.com  
<http://mikulka-electric.com> Lic#15453

1. SIGNIFICANT INCREASE IN COST
2. THE DISTURBANCE TO YOUR PROPERTY DUE TO EXCAVATION
3. THE UNSIGHTLY ESTHETIC FACTOR THAT WOULD ACCOMPANY THE PROPOSED LOCATION
4. THE LOSS OF RECREATIONAL SPACE IN THE AREA OF YOUR BACKYARD
5. POTENTIAL OBSTRUCTION TO CHILDREN AND GUESTS DURING SOCIAL AND RECREATIONAL ACTIVITIES

SINCERELY,

PETER V MIKULKA  
PRESIDENT OF MIKULKA ELECTRIC, INC  
732-363-8954  
MIKULKA ELECTRIC/MIKULKA CONTRACTING  
[HTTP://WWW.MIKULKA-ELECTRIC.COM](http://www.mikulka-electric.com)



Mikulka Electric Inc  
15 Lisa Lane  
Morganville, NJ 07751  
732-363-8954  
[info@mikulka-electric.com](mailto:info@mikulka-electric.com)  
<http://mikulka-electric.com> Lic#15453

9/3/2021

JAYCEE & ELEANOR COSENTINO

21 MCGREEVEY DR

MANASQUAN NJ 08736

ELLENCOSSENTINO03@GMAIL.COM

(732) 492-7720

SCOPE: STAND BY GENERATOR INSTALLATION

PROVIDE TRENCHING AND BACK-FILL FOR APPROX 135' , 12" X 30" TRENCH

SUPPLY & SET 22 KW GENERAC STANDBY GENERATOR

GENERATOR TO BE SET IN BACKYARD APPROX 135' FROM METER

\*WIRE TO BE INSTALLED UNDERGROUND IN TRENCH

APPROX 135' OF GAS PIPE INSTALLED IN TRENCH

INSTALL APPROX 10" OF SUB-FEED CABLE THROUGH BASEMENT TO PANEL LOCATION

INSTALL SERVICE RATED 200 AMP AUTOMATIC TRANSFER SWITCH

INSTALL GAS CONNECTION

INSTALL COMPOSITE PAD FOR UNIT

BATTERY

START UP

TEST AND LABEL

PLEASE NOTE:

PERMIT FEES ARE RESPONSIBILITY OF HOMEOWNER

1 YEAR SERVICE/ MAINTENANCE AGREEMENT

ALL UNITS COME WITH FACTORY WARRANTY OF 5 YEARS

**TOTAL-\$19,800.00**

Item 4.

GENERAC

Specifications

Proposed Unit Specs.

20/22/24 kW

Generator

Model	G007038-1 G007039-1 (20 kW)	G007042-2 G007043-2 (22 kW)	G007038-3 G007039-3 (20 kW)	G007042-3 G007043-3 (22 kW)	G007209-0 G007210-1 (24 kW)
Rated maximum continuous power capacity (LP)	20,000 Watts*	22,000 Watts*	20,000 Watts*	22,000 Watts*	24,000 Watts*
Rated maximum continuous power capacity (NG)	18,000 Watts*	19,500 Watts*	18,000 Watts*	19,500 Watts*	21,000 Watts*
Rated voltage	240				
Rated maximum continuous load current – 240 volts (LP/NG)	83.3 / 75.0	91.7 / 81.3	83.3 / 75.0	91.7 / 81.3	100 / 87.5
Total Harmonic Distortion	Less than 5%				
Main line circuit breaker	90 amp	100 amp	90 amp	100 amp	100 amp
Phase	1				
Number of rotor poles	2				
Rated AC frequency	60 Hz				
Power factor	1.0				
Battery requirement (not included)	12 Volts, Group 26R 540 CCA minimum or Group 35AGM 650 CCA minimum				
Unit weight (lb / kg)	448 / 203	466 / 211	436 / 198	445 / 202	455 / 206
Dimensions (L x W x H) in / cm	48 x 25 x 29 / 121.9 x 63.5 x 73.7				
Sound output in dB(A) at 23 ft (7 m) with generator operating at normal load**	67	67	67	67	67
Sound output in dB(A) at 23 ft (7 m) with generator in Quiet-Test™ low-speed exercise mode**	55	57	55	57	57
Exercise duration	5 min				

Engine

Engine type	GENERAC G-Force 1000 Series				
Number of cylinders	2				
Displacement	999 cc				
Cylinder block	Aluminum w/ cast iron sleeve				
Valve arrangement	Overhead valve				
Ignition system	Solid-state w/ magneto				
Governor system	Electronic				
Compression ratio	9.5:1				
Starter	12 VDC				
Oil capacity including filter	Approx. 1.9 qt / 1.8 L				
Operating rpm	3,600				
Fuel consumption					
Natural gas	ft <sup>3</sup> /hr (m <sup>3</sup> /hr)				
	1/2 Load	204 (5.78)	228 (6.46)	164 (4.64)	203 (5.75)
	Full Load	301 (8.52)	327 (9.26)	287 (8.13)	306 (8.66)
Liquid propane	ft <sup>3</sup> /hr (gal/hr) [L/hr]				
	1/2 Load	87 (2.37) [8.99]	92 (2.53) [9.57]	86 (2.36) [8.95]	92 (2.53) [9.57]
	Full Load	130 (3.56) [13.48]	142 (3.90) [14.77]	136 (3.74) [14.15]	142 (3.90) [14.77]

Note: **Fuel pipe must be sized for full load.** Required fuel pressure to generator fuel inlet at all load ranges - 3.5–7 in water column (0.87–1.74 kPa) for NG, 10–12 in water column (2.49–2.99 kPa) for LP gas. For BTU content, multiply ft<sup>3</sup>/hr x 2500 (LP) or ft<sup>3</sup>/hr x 1000 (NG). For Megajoule content, multiply m<sup>3</sup>/hr x 93.15 (LP) or m<sup>3</sup>/hr x 37.26 (NG).

Controls

Two-line plain text multilingual LCD	Simple user interface for ease of operation.
Mode buttons: AUTO	Automatic start on utility failure. Weekly, Bi-weekly, or Monthly selectable exerciser.
MANUAL	Start with starter control, unit stays on. If utility fails, transfer to load takes place.
OFF	Stops unit. Power is removed. Control and charger still operate.
Ready to Run/Maintenance messages	Standard
Engine run hours indication	Standard
Programmable start delay between 2–1500 seconds	Standard (programmable by dealer only)
Utility Voltage Loss/Return to Utility adjustable (brownout setting)	From 140-171 V / 190-216 V
Future Set Capable Exerciser/Exercise Set Error warning	Standard
Run/Alarm/Maintenance logs	50 events each
Engine start sequence	Cyclic cranking: 16 sec on, 7 rest (90 sec maximum duration)
Starter lock-out	Starter cannot re-engage until 5 sec after engine has stopped.
Smart Battery Charger	Standard
Charger Fault/Missing AC warning	Standard
Low Battery/Battery Problem Protection and Battery Condition indication	Standard
Automatic Voltage Regulation with Over and Under Voltage Protection	Standard
Under-Frequency/Overload/Stepper Overcurrent Protection	Standard
Safety Fused/Fuse Problem Protection	Standard
Automatic Low Oil Pressure/High Oil Temperature Shutdown	Standard
Overcrank/Overspeed (@ 72 Hz)/rpm Sense Loss Shutdown	Standard
High Engine Temperature Shutdown	Standard
Internal Fault/Incorrect Wiring protection	Standard
Common external fault capability	Standard
Field upgradable firmware	Standard

\*\*Sound levels are taken from the front of the generator. Sound levels taken from other sides of the generator may be higher depending on installation parameters. Rating definitions - Standby: Applicable for supplying emergency power for the duration of the utility power outage. No overload capability is available for this rating. (All ratings in accordance with BS5514, ISO3046 and DIN6271). \* Maximum kilovolt amps and current are subject to and limited by such factors as fuel BTU/megajoule content, ambient temperature, altitude, engine power and condition, etc. Maximum power decreases approximately 3.5% for each 1,000 ft (304.8 m) above sea level; and also will decrease approximately 1% for each 10 °F (6 °C) above 60 °F (16 °C).

22

# Models



The GenPad™ is manufactured by DiversiTech and is designed to meet the engineering specifications of major air-cooled generator brands including Generac®, Honeywell®, Centurion®, Eaton®, Siemens®, and Lennox®. It provides a sturdy, permanent base for residential generators that won't shift over time. Each GenPad is made from a composite of high strength fibers and cement and is warranted for the life of the generator. The GenPad also installs faster and cleaner than a poured concrete pad and gives a finished, professional look to your installation.

GenPads are available in two models to meet the needs of any area:

*Composite pad to be installed under generator*

## GENPAD™

The standard GenPad is ideal for most residential applications. It is contoured to look aesthetically pleasing with a wide range of common residential generators and comes in multiple bolt configurations.

L54" X W31" X H3" 189LBS.

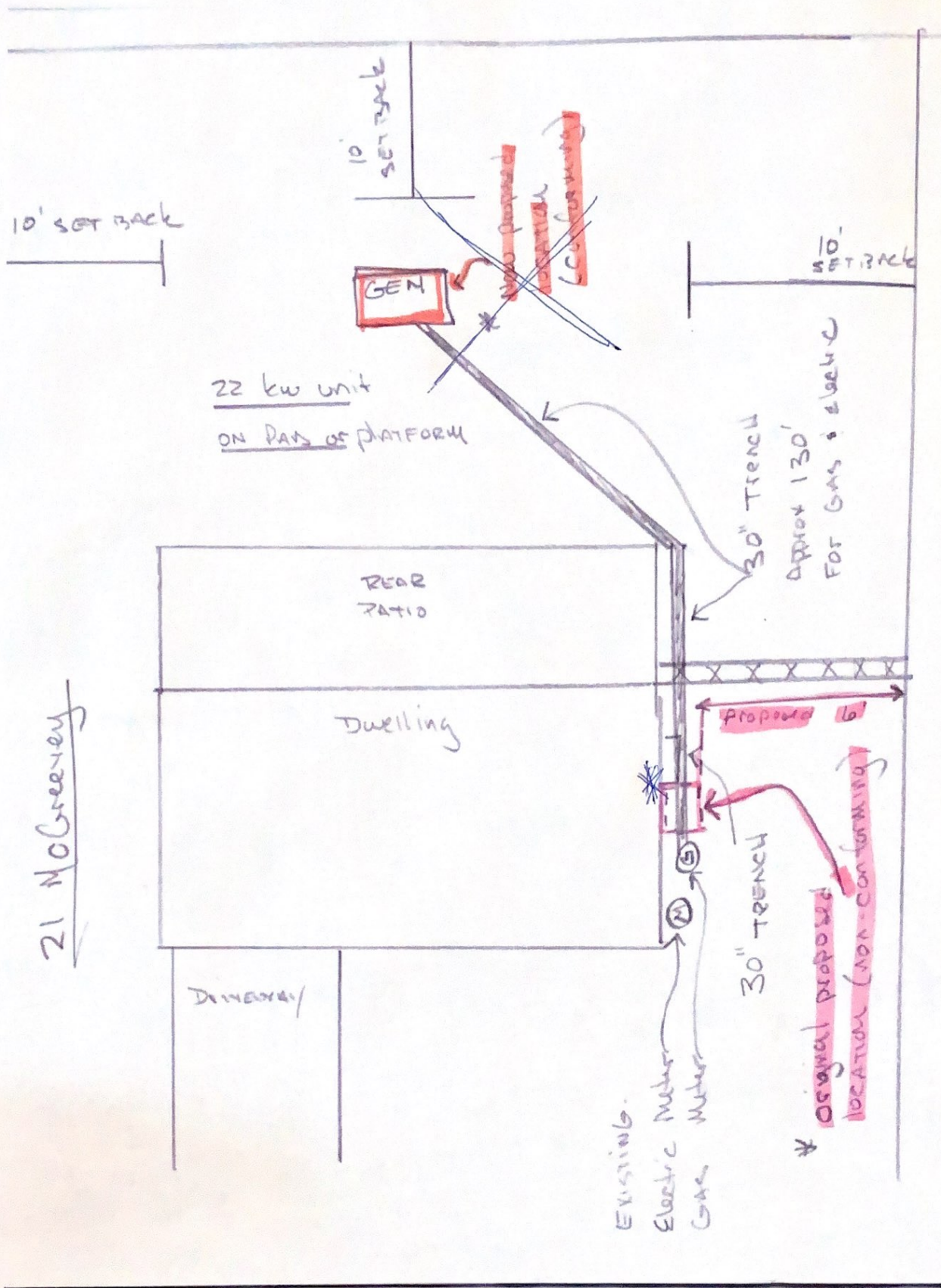


## GENPAD™ HURRICANE

The GenPad Hurricane offers the same features of the standard GenPad with the added benefit of added thickness and weight to withstand the high winds found in storm prone areas like South Florida and the Gulf Coast.

L54" X W31" X H4" 275LBS.





21 McGreevey



June 30, 2021

Mary Salerno, Secretary  
Manasquan Borough Planning Board  
201 East Main Street  
Manasquan, NJ 08736

Re: Boro File No. MSPB-R1610  
Variance – Cinfio  
Block 185, Lot 14  
337 Beachfront/336 First Avenue  
R-4 Single-Family Residential Zone  
Borough of Manasquan, Monmouth County, NJ

Dear Ms. Salerno:

As per your request, I have reviewed the above-referenced application in accordance with the provisions of the Borough Land Development Ordinance. The documents reviewed in conjunction with this application include:

1. Plot Plan prepared by Charles Lindstrom, P.E. of Lindstrom, Diessner & Carr, P.C., dated December 31, 2020., last revised June 3, 2021
2. Architectural Floorplans and Elevations prepared by Jeff Schneider, RA, dated May 20, 2021.

The property is located in the R-4 Single-Family Residential Zone with frontage on First Avenue and the Beachfront. With this application, the applicant proposes to demolish both existing dwellings and construct a raised two story garage dwelling on First Avenue, a two and one half story dwelling on the beachfront, and associated site improvements. This application is deemed complete as of June 30, 2021.

The following are our comments and recommendations regarding this application:

1. The property is located in the R-4 Single Family Residential Zone. The proposed residential use is permitted in the zone.
2. The following bulk ('c') variances are required as part of this application:

*Lot 14*

- a. A maximum building coverage of 35% is permitted, whereas a building coverage of 46.4% is proposed (45.4% exists).
- b. A minimum building separation of 35 feet is required, whereas a separation of approximately 22 feet is proposed.

Re: Boro File No. MSPB-R1610  
Variance – Cinfio  
Block 185, Lot 14

June 30, 2021  
Sheet 2

- c. Standby generators are prohibited in any side yard, whereas the proposed generator is located in the northern side yard.
- d. A maximum driveway width of 20 feet is permitted, whereas a driveway width of approximately 22 feet is proposed.

*Beachfront Dwelling (337 Beachfront)*

- e. A minimum front yard setback of 15 feet is required, whereas a setback of 10.7 feet is proposed to the deck (15.7 feet exists).
- f. A maximum dormer length of 10 feet is permitted, whereas a dormer length of 20 feet is proposed for the stairwell dormer.

*First Avenue Dwelling (336 First Avenue)*

- g. A minimum front yard setback of 10 feet is required, whereas a setback of 8.7 feet is proposed (0.8 feet exists).
3. The base flood elevation for the property is 14 (Zone VE). The finish first floor of the First Avenue dwelling is proposed at elevation 14.68 and the beachfront dwelling at elevation 16.50.
  4. The air conditioning units and generator are proposed to be located on a raised platform on the north side of the First Avenue dwelling at elevation 16.50.
  5. The applicant should confirm that the required 80 square feet of storage space is proposed in the First Avenue garage.
  6. Four conforming parking spaces are provided within the First Avenue garage.
  7. A dedicated walkway to the beachfront is proposed as required.
  8. A drainage recharge system in accordance with the Borough's stormwater ordinance is not required as the property is located within the R-4 beachfront zone, however the applicant does propose a recharge system connected to a bubbler inlet near the sidewalk.
  9. Construction details for the proposed retaining walls, concrete apron, and pavers should be provided on the plans.
  10. A landscaping plan for the property must be provided. No trees will be removed as part of this application.
  11. Any new utilities should be located underground if possible. The two dwellings are proposed to be serviced by separate water and sewer lines.
  12. Any curb and sidewalk must be replaced along First Avenue as necessary.



Re: Boro File No. MSPB-R1610  
Variance – Cinfo  
Block 185, Lot 14

June 30, 2021  
Sheet 3

Should you have any questions or desire any additional information, please do not hesitate to contact me.

Very truly yours,

A handwritten signature in black ink, appearing to read "Al Yodakis", is written over a horizontal line.

ALBERT D. YODAKIS, P.E., P.P.  
PLANNING BOARD ENGINEER  
BOROUGH OF MANASQUAN

ADY:jy

cc: George McGill, esq., Planning Board Attorney  
C. Keith Henderson, esq.  
52 Abe Voorhees Drive, Manasquan, NJ 08736  
Charles Lindstrom, P.E.  
Lindstrom, Diessner & Carr, 136 Drum Point Road, Suite 6, Brick, NJ 08723

June 30, 2021  
Revised: September 14, 2021

Mary Salerno, Secretary  
Manasquan Borough Planning Board  
201 East Main Street  
Manasquan, NJ 08736

Re: Boro File No. MSPB-R1610  
Variance – Cinfio  
Block 185, Lot 14  
337 Beachfront/336 First Avenue  
R-4 Single-Family Residential Zone  
Borough of Manasquan, Monmouth County, NJ

Dear Ms. Salerno:

As per your request, I have reviewed the above-referenced application in accordance with the provisions of the Borough Land Development Ordinance. The documents reviewed in conjunction with this application include:

1. Plot Plan prepared by Charles Lindstrom, P.E. of Lindstrom, Diessner & Carr, P.C., dated December 31, 2020., last revised August 31, 2021
2. Architectural Floorplans and Elevations prepared by Jeff Schneider, RA, dated August 31, 2021.

The property is located in the R-4 Single-Family Residential Zone with frontage on First Avenue and the Beachfront. With this application, the applicant proposes to demolish both existing dwellings and construct a raised two story garage dwelling on First Avenue, a two and one half story dwelling on the beachfront, and associated site improvements. This application was previously deemed complete on of June 30, 2021.

The following are our comments and recommendations regarding this application:

1. The property is located in the R-4 Single Family Residential Zone. The proposed residential use is permitted in the zone.
2. The following bulk ('c') variances are required as part of this application:

*Lot 14*

- a. A maximum building coverage of 35% is permitted, whereas a building coverage of 46.4% is proposed (45.4% exists).
- b. A maximum lot coverage of 50% is permitted, whereas a lot coverage of 51.1% is proposed.

Re: Boro File No. MSPB-R1610  
 Variance – Cinfio  
 Block 185, Lot 14

September 14, 2021  
 Sheet 2

- c. A minimum building separation of 35 feet is required, whereas a separation of 18.7 feet is proposed.

*Beachfront Dwelling (337 Beachfront)*

- d. A minimum front yard setback of 15 feet is required, whereas a setback of 10.7 feet is proposed to the deck (15.7 feet exists).
- e. A maximum dormer length of 10 feet is permitted, whereas a dormer length of 19 feet 4 inches is proposed for the stairwell dormer.

*First Avenue Dwelling (336 First Avenue)*

- f. A minimum front yard setback of 10 feet is required, whereas a setback of 8.7 feet is proposed (0.8 feet exists).

3. The following non-conformities exist on Lot 14 and are not proposed to be modified as part of this application:
  - a. A maximum driveway curb cut width of 20 feet is permitted, whereas a curb cut of approximately 20.4 feet exists.
4. The base flood elevation for the property is 14 (Zone VE). The finish first floor of the First Avenue dwelling is proposed at elevation 16.48 and the beachfront dwelling at elevation 16.50.
5. The air conditioning units and generator are proposed to be located on a raised platform and have been relocated to the south side of the First Avenue dwelling at elevation 16.50. All mechanicals are located within the building envelope and are outside of the required 5 foot setback.
6. The applicant should confirm that the required 80 square feet of storage space is proposed in the First Avenue garage.
7. Four conforming parking spaces are provided within the First Avenue garage.
8. A dedicated walkway to the beachfront is proposed as required.
9. A drainage recharge system in accordance with the Borough's stormwater ordinance is not required as the property is located within the R-4 beachfront zone, however the applicant does propose a recharge system connected to a bubbler inlet near the sidewalk.
10. Construction details for the proposed retaining walls, concrete apron, and pavers should be provided on the plans.
11. A landscaping plan for the property must be provided. No trees will be removed as part of this application.




Re: Boro File No. MSPB-R1610  
Variance – Cinfio  
Block 185, Lot 14

September 14, 2021  
Sheet 3

12. Any new utilities should be located underground if possible. The two dwellings are proposed to be serviced by separate water and sewer lines.
13. Any curb and sidewalk must be replaced along First Avenue as necessary.

Should you have any questions or desire any additional information, please do not hesitate to contact me.

Very truly yours,

  
ALBERT D. YODAKIS, P.E., P.P.  
PLANNING BOARD ENGINEER  
BOROUGH OF MANASQUAN

ADY:jy

cc: George McGill, esq., Planning Board Attorney  
C. Keith Henderson, esq.  
52 Abe Voorhees Drive, Manasquan, NJ 08736  
Charles Lindstrom, P.E.  
Lindstrom, Diessner & Carr, 136 Drum Point Road, Suite 6, Brick, NJ 08723

**PLANNING BOARD APPLICATION  
MANASQUAN, NEW JERSEY**

**I. APPLICANT:** Janet & Scott Cinfio, NJDMDC, LLC

Address: 217 Horseback Hollow, Austin, TX 78732

Phone: 650-224-1759

**Property Address:** 337 Beachfront/336 First Ave  
Block 185, Lot 14, Zone R-4  
Flood Zone: VE BFE: 14 ft DFE: 15 ft  
Manasquan, New Jersey 08736

**II. TYPE OF APPLICATION:** Bulk Variances  
Section 35-9.4

SITE			
	REQUIRED	EXISTING	PROPOSED
Area of Lot	4,200 s.f.	4,481 s.f.	4,481 s.f.
Percentage of Lot Coverage (Building)	35%	45.4%*	46.4%**
Percentage of Lot Coverage (Imp)	50%	73.8%	50%
Lot Frontage	30 ft.	32 ft	32 ft.
<b>337 BEACHFRONT</b>			
Front Yard Setback	15 ft	15.7 ft	15.8 ft to dwelling; 10.7 ft to the deck* *
Side Setback (N)	5ft	2.8 ft*	5 ft
Side Setback (S)	5ft	4.6 ft*	5.1 ft
Rear Setback	15 ft	78.1 ft	67.5 ft
Building Height-Stories	33 ft. 2.5 stories	19.07 ft 1.5 stories	32.58 ft 2.5 stories
<b>336 FIRST AVE</b>			
Front Yard Setback	10 ft	0.8 ft	8.7 ft**
Side Setback (N)	5ft	8.7 ft	5.2 ft
Side Setback (S)	5ft	3.7 ft*	5.0 ft
Rear Setback	15 ft	98.1 ft	91.2 ft
Building Height-Stories	32 ft 2 stories	21.77 ft 1.5	31.79 ft 2

Previously approved existing Non-Conformity \*

Variance Requested \*\*

**Section 35-9.4-** Dormer Length—10 ft permitted; 20 ft. proposed.

**Section 35-11.8i-** Prohibits locating standby generator in the side yard.

**Section 35-7.7-** Driveway Width—20 ft permitted; 22 ft. proposed.

**III. SITE INFORMATION:**

Street Address: 336 First Ave/337 Beachfront

Block 185, Lot 14

Zoning Districts: R-4

Present Use: Two Single Family Residential Dwellings

Proposed Use: Two Single Family Residential Dwellings

**VI. ZONE REQUIREMENTS: R-4 Zone**

Min. Lot Area: 4,200 SF

Min Lot Frontage: 30 ft

Front Yard Setback: 15/10 ft

Side Setback: 5ft

Rear Setback: 15 ft

Max. Bldg. Height: 35 ft (33 ft for non-conforming lot)

Max Stories: 2 ½

Max. Bldg. Coverage: 35%

Max. Lot Coverage: 50%

**V. MISCELLANEOUS:**

1. Is the Applicant the Landowner? Yes
2. Does the Applicant own any adjoining land? No
3. Are the property taxes paid to date? Yes



- 4. Have there been any previous applications to the Planning Board or Board of Adjustment concerning this property? No.
- 5. Are there any deed restrictions, easements or covenants affecting the property?

**VI. COMMENT:**

Applicant seeks to remove all the existing buildings and structures on the property and construct a new single family dwelling fronting on the Beachfront and a new garage apartment fronting on First Avenue.

The Applicant agrees to be responsible for and pay the costs entailed in the review of this application by any experts retained by the Planning Board for advice in this matter, if necessary.

6/18/21  
Date

  
\_\_\_\_\_  
MICHAEL D. HENDERSON, ESQ  
Attorney for Applicant

BOROUGH HALL  
201 EAST MAIN STREET

Incorporated December 30, 1887

732-223-0544  
Fax 732-223-1300

EDWARD G. DONOVAN  
Mayor

CONSTRUCTION DEPARTMENT

FRANK F. DIROMA  
Supervisor of Code Enforcement

THOMAS F. FLARITY  
Municipal Administrator

BOROUGH OF MANASQUAN  
COUNTY OF MONMOUTH  
NEW JERSEY 08736

STEVEN J. WINTERS  
Construction Official

May 27, 2021

Keith Henderson, Esq.  
52 Abe Voorhees Drive  
PO Box 260  
Manasquan, NJ 08736

Re: Block: 185 Lot: 14 Zone: R-4 Flood Zone: VE BFE: 14ft. DFE: 15ft.  
Cinfio – 337 Beachfront, 336 First Avenue

Dear Sir:

On this date we reviewed your application for the following project.

Remove all of the existing buildings and structures on the property and construct a new single family dwelling fronting on the beachfront and a new garage apartment fronting on First Avenue.

Plot plan prepared by Charles Lindstrom on December 31, 2020. Conceptual building plans prepared by Jeff Schneider on May 20, 2021.

**Application denied for the following reason(s):**

**Lot:**

Section 35-9.4 – Building Coverage – 35% Permitted  
46.4% Proposed

**337 Beachfront:**

Section 35-9.4 – Front Setback – 15ft Required  
10.7ft Proposed

“ - Dormer Length – 10ft Permitted  
20ft. Proposed

336 First Avenue:

Section 35-9.4 – Front Setback – 10ft. Required  
8.7ft. Proposed

Section 35-11.8i – Prohibits locating a standby generator in the side yard.

Section 35-7.7 – Driveway Width – 20ft. Permitted  
22ft. Proposed

If you have any questions, please call me at 732-223-0544, ext. 256

Sincerely,



Richard Furey  
Zoning/Code Enforcement Officer

BOROUGH HALL  
201 EAST MAIN STREET

EDWARD G. DONOVAN  
Mayor

THOMAS F. FLARITY  
Municipal Administrator

Incorporated December 30, 1887

CONSTRUCTION DEPARTMENT  
BOROUGH OF MANASQUAN  
COUNTY OF MONMOUTH  
NEW JERSEY 08736

732-223-0544  
Fax 732-223-1300

FRANK F. DIROMA  
Supervisor of Code Enforcement

STEVEN J. WINTERS  
Construction Official

June 15, 2021

Keith Henderson, Esq.  
52 Abe Voorhees Drive  
PO Box 260  
Manasquan, NJ 08736

Re: Block: 185 Lot: 14 Zone: R-4 Flood Zone: VE BFE: 14ft. DFE: 15ft.  
Cinffio – 337 Beachfront, 336 First Avenue

Dear Sir:

On this date we reviewed your application for the following project.

Remove all of the existing buildings and structures on the property and construct a new single family dwelling fronting on the beachfront and a new garage apartment fronting on First Avenue.

Plot plan prepared by Charles Lindstrom on December 31, 2020. Conceptual building plans prepared by Jeff Schneider on May 20, 2021.

**Application denied for the following reason(s):**

**Lot:**

Section 35-9.4 – Building Coverage – 35% Permitted  
46.4% Proposed

**337 Beachfront:**

Section 35-9.4 – Front Setback – 15ft Required  
10.7ft Proposed

“ - Dormer Length – 10ft Permitted  
20ft. Proposed

“ - Half Story – 60% Permitted  
64% Proposed

**336 First Avenue:**

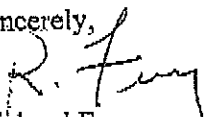
Section 35-9.4 – Front Setback – 10ft. Required  
8.7ft. Proposed

Section 35-11.8i – Prohibits locating a standby generator in the side yard.

Section 35-7.7 – Driveway Width – 20ft. Permitted  
22ft. Proposed

If you have any questions, please call me at 732-223-0544, ext. 256

Sincerely,



Richard Furey  
Zoning/Code Enforcement Officer

BOROUGH HALL  
201 EAST MAIN STREET

EDWARD G. DONOVAN  
Mayor

THOMAS F. FLARITY  
Municipal Administrator

Incorporated December 30, 1887

CONSTRUCTION DEPARTMENT

BOROUGH OF MANASQUAN  
COUNTY OF MONMOUTH  
NEW JERSEY 08736



732-223-0544  
Fax 732-223-1

Item 5.

FRANK F. DiROMA  
Supervisor of Code Enforcement

STEVEN J. WINTERS  
Construction Official

June 16, 2021

Keith Henderson, Esq.  
52 Abe Voorhees Drive  
PO Box 260  
Manasquan, NJ 08736

Re: Block: 185 Lot: 14 Zone: R-4 Flood Zone: VE BFE: 14ft. DFE: 15ft.  
Cinfio – 337 Beachfront, 336 First Avenue

Dear Sir:

On this date we reviewed your application for the following project.

Remove all of the existing buildings and structures on the property and construct a new single family dwelling fronting on the beachfront and a new garage apartment fronting on First Avenue.

Plot plan prepared by Charles Lindstrom on December 31, 2020. Conceptual building plans prepared by Jeff Schneider on May 20, 2021.

**Application denied for the following reason(s):**

**Lot:**

Section 35-9.4 – Building Coverage – 35% Permitted  
46.4% Proposed

**337 Beachfront:**

Section 35-9.4 – Front Setback – 15ft Required  
10.7ft Proposed

“ - Dormer Length – 10ft Permitted  
20ft. Proposed

**336 First Avenue:**

Section 35-9.4 – Front Setback – 10ft. Required  
8.7ft. Proposed

Section 35-11.8i – Prohibits locating a standby generator in the side yard.

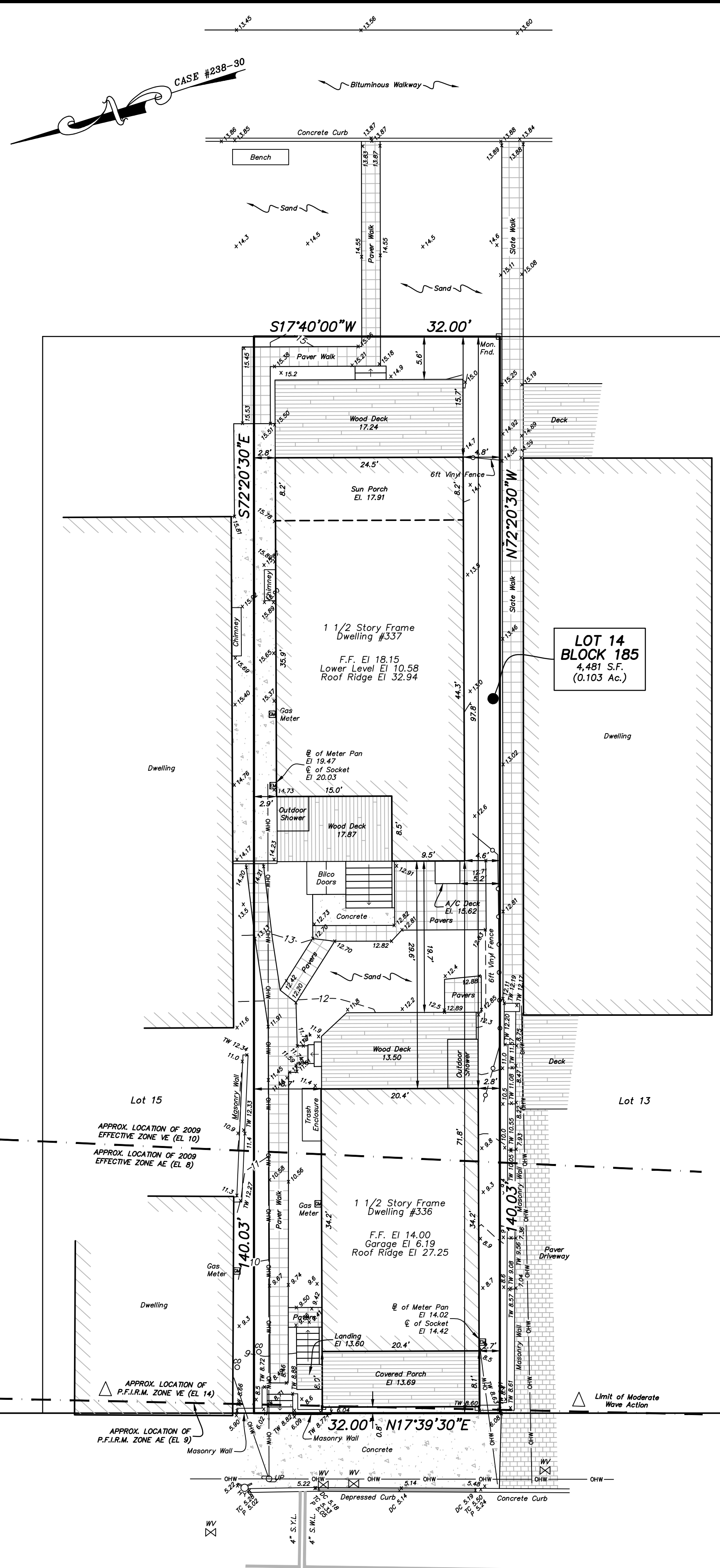
Section 35-7.7 – Driveway Width – 20ft. Permitted  
22ft. Proposed

If you have any questions, please call me at 732-223-0544, ext. 256

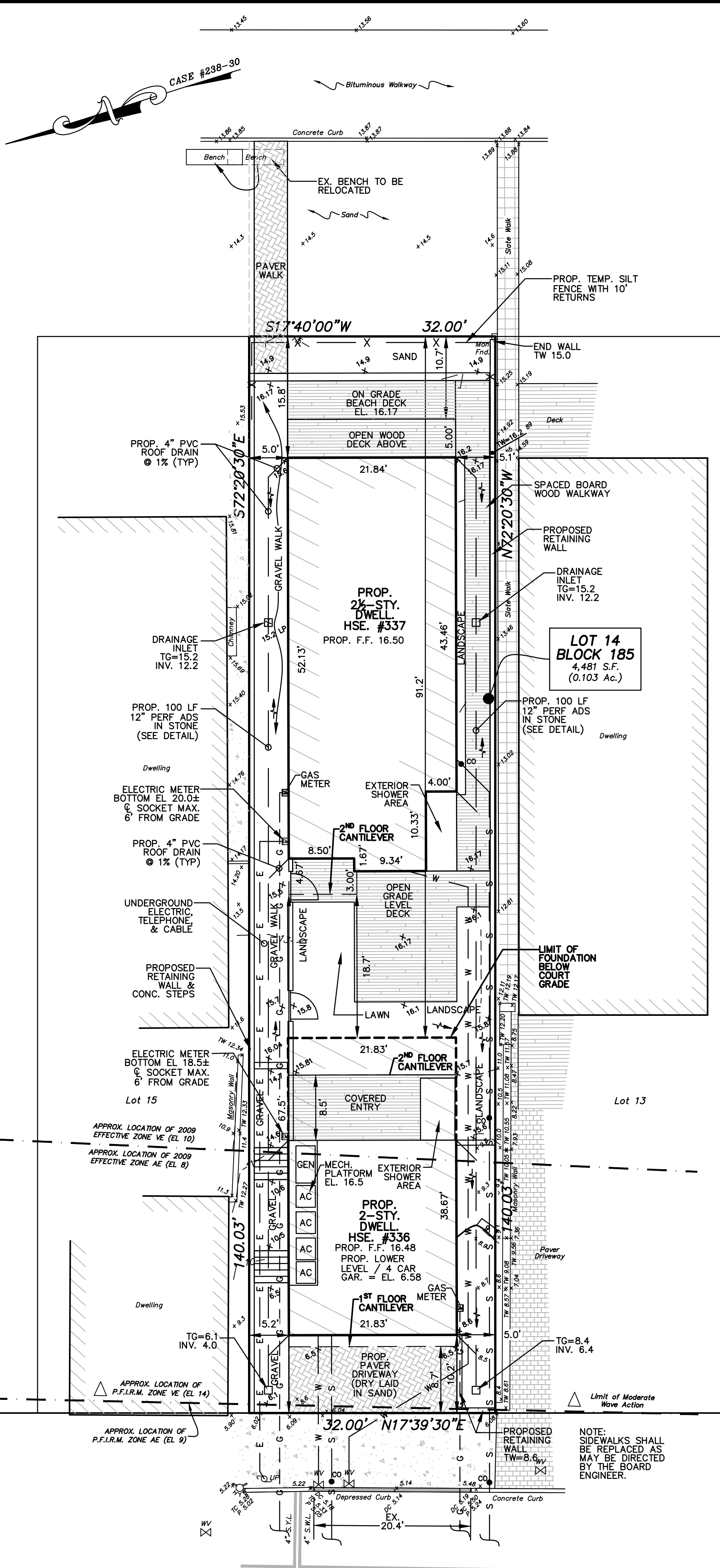
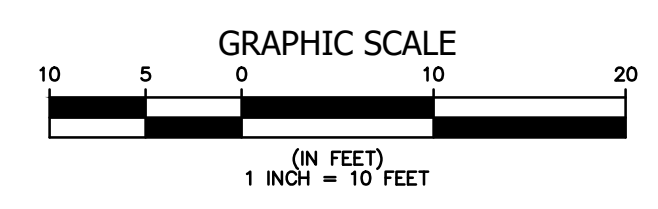
Sincerely,



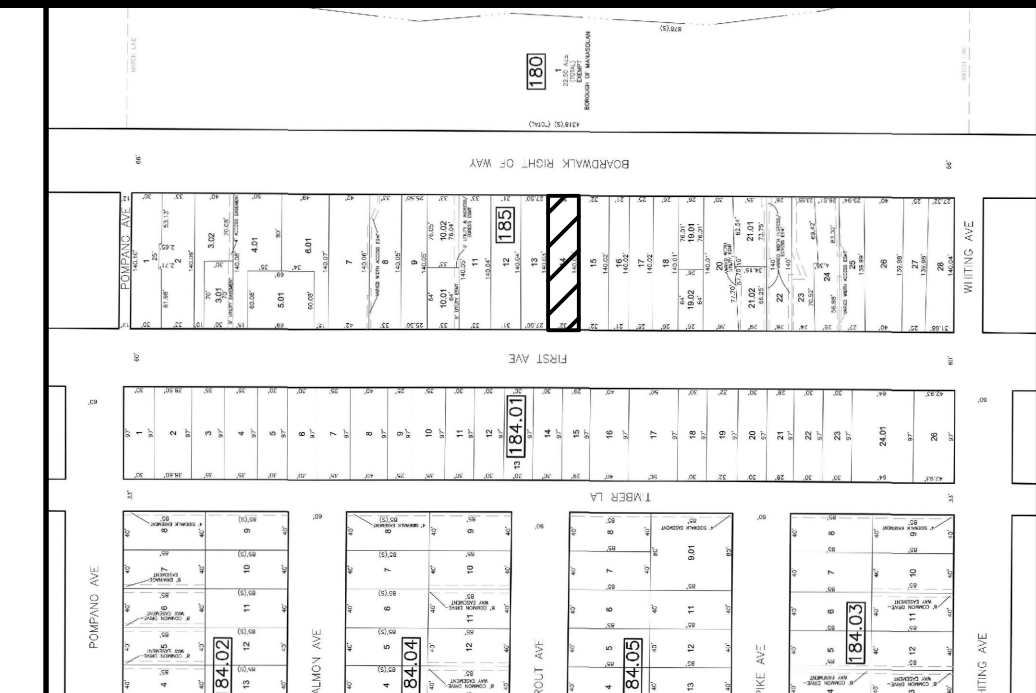
Richard Furey  
Zoning/Code Enforcement Officer



**EXISTING CONDITIONS PLAN**  
SCALE 1"=10'



**PROPOSED DEVELOPMENT PLAN**  
SCALE 1"=10'



**KEY MAP**  
SCALE 1"=200'



**AERIAL MAP**  
N.T.S.

**GENERAL NOTES:**

1. SURVEY AND TOPOGRAPHY TAKEN FROM A PLAN ENTITLED "TOPOGRAPHIC SURVEY LOT 14 BLOCK 185 BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY." PREPARED BY LINDSTROM, DIESSNER AND CARR P.C. DATED 7/20/2020. WILLIAM H. DOOLITTLE P.L.S. FOR JANET & SCOTT CINFO.
2. ELEVATIONS BASED ON NAVD 1988 DATUM AND GPS RTK OBSERVATIONS.
3. PROPERTY LOCATED IN FLOOD ZONES AE (EL 8) & VE (EL 10). COMMUNITY NUMBER 345303 MAP NUMBER 34025004567, EFFECTIVE DATE SEPTEMBER 25, 2009. PROPERTY LOCATED IN FLOOD ZONES AE (EL 9) & VE (EL 14) LIMWA, BASED ON FEMA PRELIMINARY FLOOD INSURANCE RATE MAPS REVISED JANUARY 31, 2014.
4. UTILITIES ARE EXISTING AND SHALL REMAIN AND BE RECONNECTED TO PROPOSED DWELLING IN ACCORDANCE WITH APPLICABLE BUILDING CODES AND UTILITY COMPANY REQUIREMENTS. LOCATION OF EX. UTILITIES IS APPROXIMATE AND MUST BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION/EXCAVATION.
5. FOR COMPLETE BUILDING DIMENSIONS AND INFORMATION SEE ARCHITECTURAL PLANS.
6. THERE ARE NO WETLANDS ON SITE.
7. THERE IS NO BELOW GRADE BASEMENT PROPOSED.
8. A FLOOR WITH A FLOOR THAT IS NOT 1 FOOT ABOVE THE BFE IS NOT PERMITTED.
9. ANY AND ALL IMPORTED EARTHEN MATERIAL SHALL BE CERTIFIED CLEAN.
10. ALL UTILITIES SHALL BE INSTALLED UNDERGROUND AND EACH DWELLING SHALL HAVE SEPARATE UTILITIES.

**OWNER/APPLICANT:**

JANET & SCOTT CINFO  
NJDMDC, LLC  
217 HORSEBACK HOLLOW  
AUSTIN, TX 78732

**PROPERTY IS LOCATED IN THE R-4 DISTRICT**

**FIRST AVENUE HOUSE #336**

DESCRIPTION	REQUIRED	EXISTING	PROPOSED
FRONT SETBACK	10 FT.	0.8 FT.**	8.7 FT.**
SIDE SETBACK NORTH	5 FT.	8.7 FT.**	5.0 FT.
SIDE SETBACK SOUTH	5 FT.	3.7 FT.**	5.0 FT.
REAR SETBACK	15 FT.	97.8 FT.	91.2 FT.
DIST. TO BLDG.	35 FT.	29.6 FT.*	18.7 FT.**
MAX. HEIGHT <sup>(1)</sup>	33 FT.	21.77 FT.	31.79 FT.
	2 Sty		2 Sty

VARIANCE REQUESTED FOR STANDBY GENERATOR IN SIDE YARD (SECT. 35-11.8)

**OCEAN FRONT HOUSE #337**

DESCRIPTION	REQUIRED	EXISTING	PROPOSED
FRONT SETBACK	15 FT.	15.7 FT.	15.8 FT. DWELL; 10.7 FT. DECK**
SIDE SETBACK NORTH	5 FT.	2.8 FT.**	5.0 FT.
SIDE SETBACK SOUTH	5 FT.	4.6 FT.	5.1 FT.
REAR SETBACK	15 FT.	71.8 FT.	67.5 FT.
DIST. TO BLDG.	35 FT.	29.6 FT.*	18.7 FT.**
MAX. HEIGHT <sup>(2)</sup>	33 FT.	19.07 FT.	32.58 FT.
	2 1/2 Sty	1 1/2 Sty	2 1/2 Sty

\* EXISTING NON-CONFORMING

\*\* VARIANCE REQUESTED

(1) MEASURED FROM TC OF FIRST AVENUE 5.48

(2) MEASURED FROM TC 13.87 AT THE BOARDWALK

**PROPERTY IS LOCATED IN THE R-4 DISTRICT**

**TOTAL LOT ZONING CRITERIA**

DESCRIPTION	REQUIRED	EXISTING	PROPOSED
MIN LOT SIZE	4,200 S.F.	4,481 S.F.	4,481 S.F.
LOT FRONTAGE	30 FT.	32.0 FT.	32.0 FT.
LOT WIDTH	30 FT.	32.0 FT.	32.0 FT.
BUILDING COVERAGE	35%	45.4%*	46.4%*
LOT COVERAGE	50%	73.8%*	50.0%

\* EXISTING NON-CONFORMING

\*\* VARIANCE REQUESTED

VARIANCE REQUESTED FOR DRIVEWAY CURB CUT (SECT 35-7.7c) REQUIRED 20 FEET MAX - EXISTING 20.4 FT. AT CURB LINE \*\* DRIVEWAY WIDTH 22' PROP. \*\*

**LEGEND:**

- 47- EXISTING CONTOUR
- 48- PROPOSED CONTOUR
- 49- EXISTING SPOT GRADE
- 50- PROPOSED SPOT GRADE
- 51- EXISTING INLET
- 52- PROPOSED INLET
- 53- EXISTING FIRE HYDRANT
- 54- PROPOSED FIRE HYDRANT
- 55- EXISTING M.H.
- 56- PROPOSED M.H.
- 57- EXISTING UTILITY POLE
- 58- PROPOSED UTILITY POLE
- 59- SOIL BORING LOCATION
- 60- EXISTING VALVE
- 61- PROPOSED VALVE
- 62- EXISTING WOODS LINE
- 63- PROPOSED WOODS LINE
- 64- TOP OF BLOCK

2	6/3/21	REVISED PER ZONING OFFICER DENIAL LETTER 5/27/21	JAR
1	3/31/21	REVISED PER ARCHITECT REVISIONS	JAR
NO.	DATE	REVISION DESCRIPTION	BY

**Lindstrom, Diessner & Carr, P.C.**  
ENGINEERING ♦ SURVEYING ♦ PLANNING  
136 Drum Point Road • Suite 6 • Brick, NJ 08723 • Tel. (732)477-8900 • Fax. (732)477-8026

**PLOT PLAN**  
**LOT 14 BLOCK 185**

**CHARLES E. LINDSTROM**  
PROFESSIONAL ENGINEER N.J. LIC. NO. 24602473900  
PROFESSIONAL PLANNER N.J. LIC. NO. 33100233300

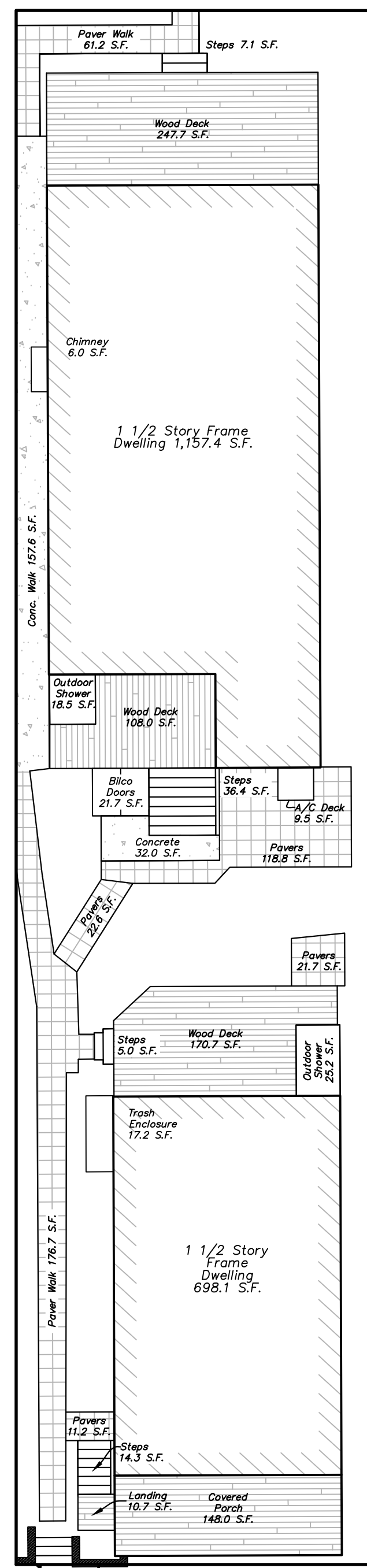
BOROUGH OF MANASQUAN	MONMOUTH COUNTY	NEW JERSEY
DRAWN BY: JAR	SCALE: 1"=20'	DATE: 12/31/2020
SHEET: 1 OF 2	PROJECT: 20075	

**REFERENCES USED:**  
- FILED MAP, CASE #238-30  
- DEED BOOK 9358, PAGE 2093

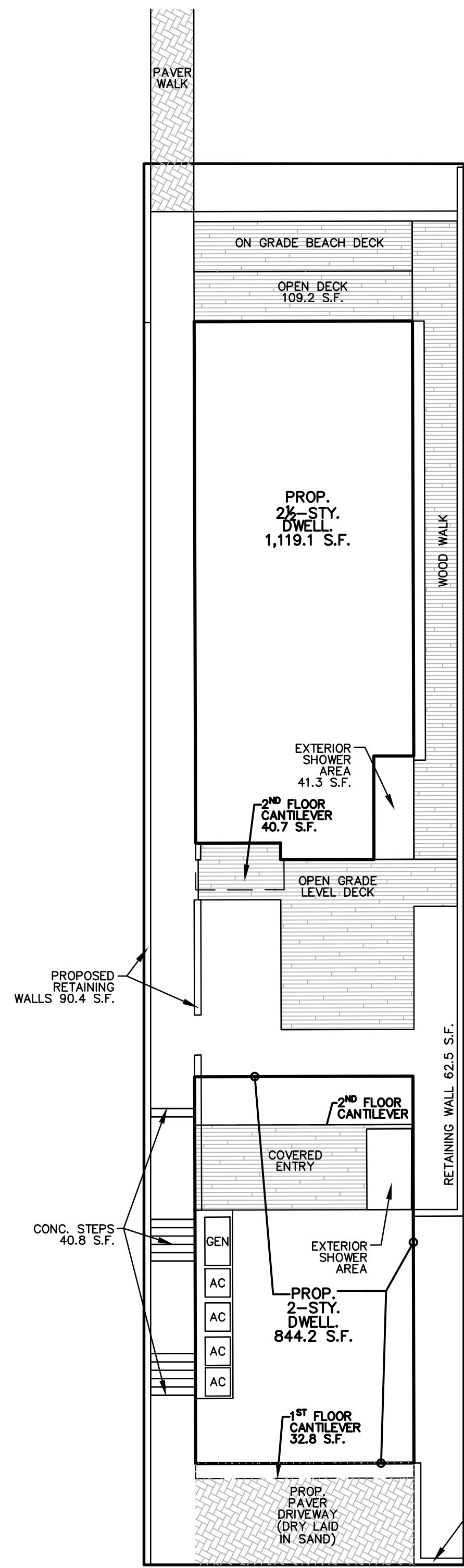
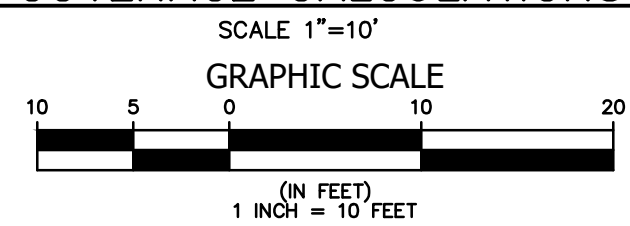
**PROPERTY DESCRIPTION:**  
BEING KNOWN AS LOT 14 IN BLOCK 185 AS SHOWN ON A MAP ENTITLED "FINAL MAP OF BLOCK 185, LANDS OF AMERICAN TIMBER COMPANY, BOROUGH OF MANASQUAN, MONMOUTH COUNTY, N.J." FILED IN THE OFFICE OF THE MONMOUTH COUNTY CLERK ON NOVEMBER 9, 1990 AS MAP CASE #238-30.

ALSO BEING KNOWN AS LOT 14 IN BLOCK 185 ON THE OFFICIAL TAX MAP SHEET 31 OF BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY.

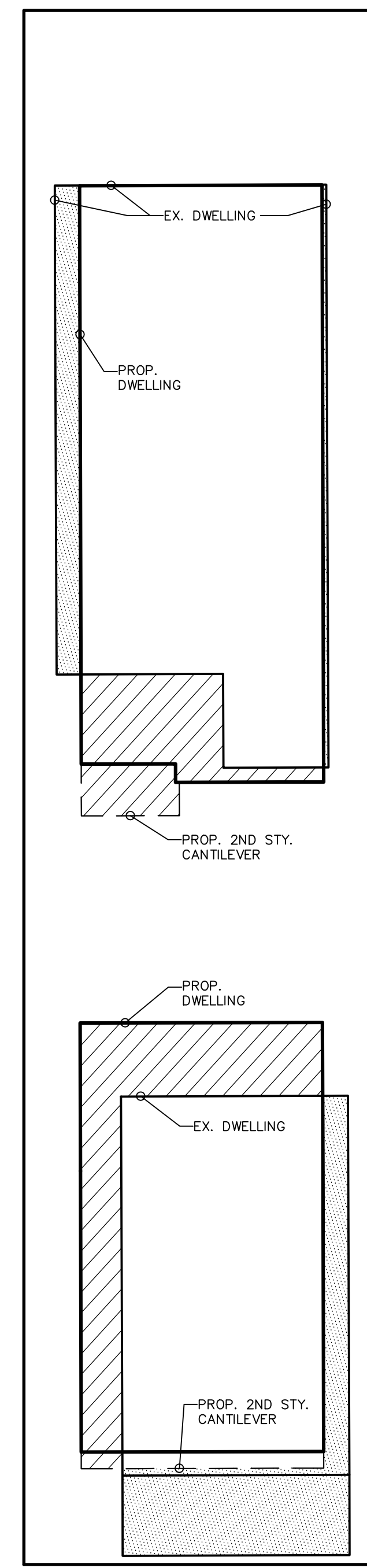
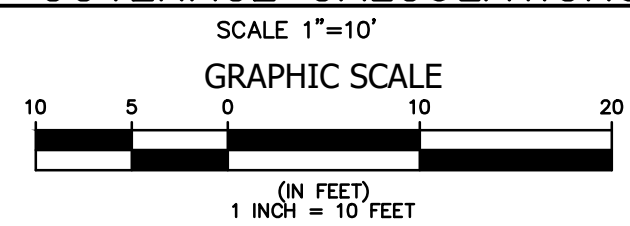




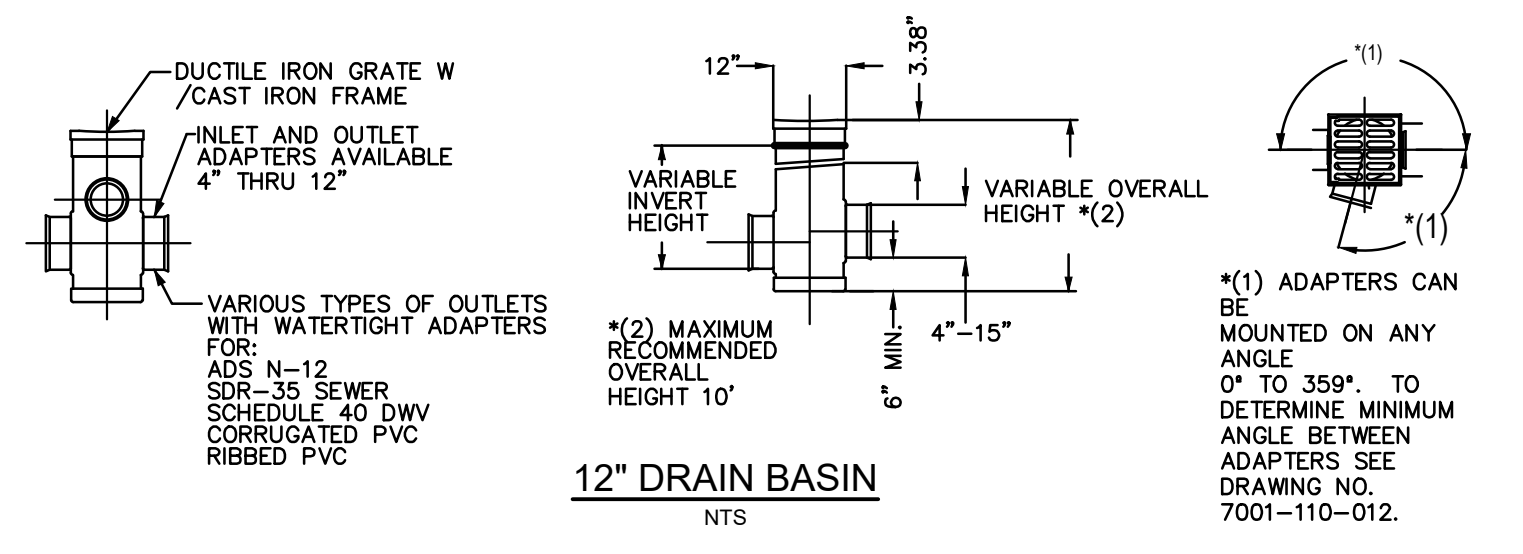
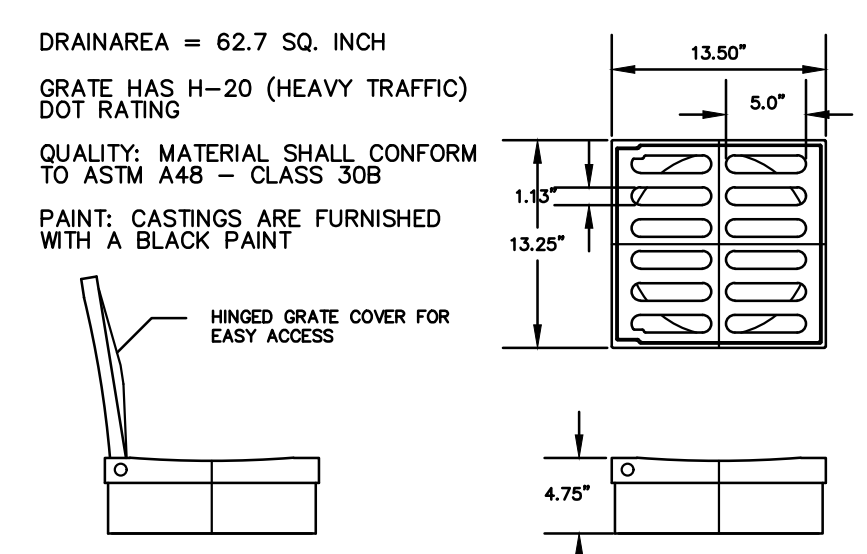
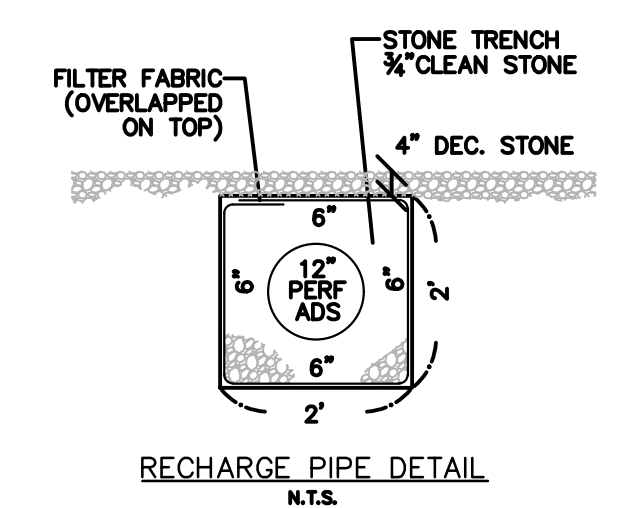
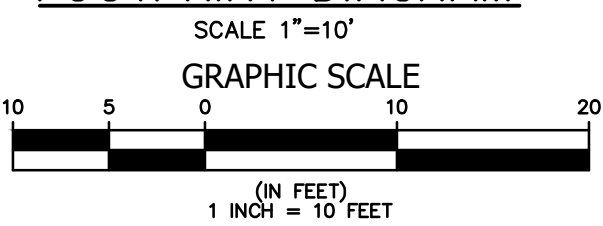
EXISTING COVERAGE CALCULATIONS DETAIL



PROPOSED COVERAGE CALCULATIONS DETAIL



FOOTPRINT DIAGRAM



FLOOD HAZARD CONTROL ACT NOTES

- DECK:
  - THE DECK IS NOT ENCLOSED WITH WALLS EITHER ABOVE OR BELOW ITS FLOOR EXCEPT FOR PROTECTIVE OR DECORATIVE FENCING BANISTERS OR LATTICE WORK THAT ALLOW FLOODWATERS TO PASS FREELY.
  - THE DECK WILL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE FEDERAL FLOOD REDUCTION STANDARDS 44 C.F.R. PART 60 & FEMA'S TECHNICAL BULLETINS.
  - THE DECK SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH PERMIT-BY-RULE 16 AT N.J.A.C. 7:13-7.16
- RESIDENTIAL CONSTRUCTION IN TIDAL FLOOD HAZARD AREA
  - THE PROPOSED FINISHED FLOOR LIVING SPACE IS ELEVATION 16.5 FOR OCEAN FRONT AND 16.48 FOR FIRST AVENUE NAVD88.
  - LOWEST FLOOR SHALL MEET THE FOLLOWING:
    - THE ENCLOSURE IS USED SOLELY FOR PARKING OF VEHICLES, BUILDING ACCESS OR STORAGE;
    - THE FLOOR OF THE ENCLOSURE IS SITUATED AT OR ABOVE THE ADJOINING EXTERIOR GRADE ALONG AT LEAST ONE ENTIRE EXTERIOR WALL, IN ORDER TO PROVIDE POSITIVE DRAINAGE OF THE ENCLOSED AREA; AND
    - THE ENCLOSURE IS CONSTRUCTED WITH FEMA COMPLIANT BREAKAWAY WALLS AND PERMANENT FLOOD OPENINGS THAT MEET THE REQUIREMENTS OF THE UNIFORM CONSTRUCTION CODE AT N.J.A.C. 5:23
    - THE DEED FOR THE LOT ON WHICH THE ENCLOSURE OR GARAGE IS CONSTRUCTED IS MODIFIED TO:
      - EXPLAIN THAT THE ENCLOSURE OR GARAGE IS LIKELY TO BE INUNDATED BY FLOODWATERS, WHICH MAY RESULT IN DAMAGE AND/OR INCONVENIENCE.
      - DISCLOSE THE DEPTH OF FLOOD THAT THE ENCLOSURE OR GARAGE WOULD EXPERIENCE DURING THE FEMA 100-YEAR FLOOD AND FLOOD HAZARD AREA DESIGN FLOOD, IF EITHER ELEVATION IS KNOWN;
      - PROHIBIT HABITATION OF THE ENCLOSURE OR GARAGE; AND
      - EXPLAIN THAT CONVERTING THE ENCLOSURE OR GARAGE INTO A HABITABLE AREA MAY SUBJECT THE PROPERTY OWNER TO ENFORCEMENT ACTION BY THE NADP.
  - THE PROPOSED DRIVEWAY ASSOCIATED WITH HABITABLE BUILDING SHALL MEET THE REQUIREMENTS AT N.J.A.C. 7:13-12.6(f). THE DRIVEWAY WILL NOT BE CONSTRUCTED FOR A BUILDING THAT IS PART OF RESIDENTIAL SUBDIVISION OR MULTIUNIT DEVELOPMENT AND A DEED MODIFICATION WILL BE PROVIDED IN ACCORDANCE WITH 12.6(f), SINCE IT IS NOT FEASIBLE TO CONSTRUCT THE DRIVEWAY AT LEAST ONE FOOT ABOVE THE BFE OF 14.0' NAVD.

V-ZONE NOTES

- BOTTOM OF LOWEST HORIZONTAL STRUCTURAL MEMBER FOR DWELLING AND GARAGE AREA TO BE SET AT MIN. ELEVATION 15.0 MIN. (FEMA PRELIMINARY FIRM 14.0 PLUS 1 FOOT OF FREEBOARD TO BOTTOM OF GIRDER).
- THE PROPOSED FINISHED FLOOR LIVING SPACE IS ELEVATION 16.5 FOR OCEAN FRONT AND 16.48 FOR FIRST AVENUE NAVD88.
- ALL AREAS BELOW LOWEST HORIZONTAL GIRDER MIN. (EL. 15.0) SHALL BE NON BEARING BREAKAWAY WALLS IN ACCORDANCE WITH FEMA REQUIREMENTS.
- LOWEST HORIZONTAL STRUCTURAL MEMBER SHALL BE SUPPORTED BY PILING DRIVEN TO A TIP ELEVATION OF -10.0 NAVD 88.
- GARAGE SLAB (EL. 6.58) SHALL BE NON STRUCTURAL CONCRETE SLABS, NOT CONNECTED TO SUPPORT PILING IN ACCORDANCE WITH V-ZONE FEMA STANDARDS.
- GARAGE DOORS SHALL BE NON BEARING AND BREAKAWAY DESIGN BELOW THE LOWEST HORIZONTAL STRUCTURAL MEMBER MIN. (EL. 15.0).
- LOWER LEVEL BELOW EL. 15.0 SHALL ONLY BE USED FOR STORAGE AND PARKING AND SHALL NOT BE USED FOR HABITABLE SPACE.
- THE PROPOSED GARAGE WILL BE ENCLOSED USING NON BEARING (FEMA APPROVED) BREAKAWAY WALLS.
- ALL DUCT WORK, ELECTRICAL COMPONENTS AND MECHANICALS SERVING THE BUILDING SHALL BE LOCATED ABOVE THE DECK AND ALL SERVICE CONDUIT AND/OR PIPING FOR THE SUBJECT BUILDING SHALL NOT BE LOCATED ON THE BREAK-AWAY WALLS.
- ALL STAIRWAY SYSTEMS FOR THE SUBJECT BUILDING BELOW THE DECK SHALL BE OF BREAK-AWAY CONSTRUCTION DESIGN AND SHALL BREAK CLEANLY AWAY DURING THE BASE FLOOD EVENT WITHOUT CAUSING DAMAGE TO THE BUILDING OR ITS FOUNDATION. OR THE STAIRWAY SYSTEMS SHALL BE DESIGNED TO RESIST FLOOD LOADS AND REMAIN IN PLACE DURING THE BASE FLOOD EVENT WITH THE ELEVATED BUILDING AND ITS FOUNDATION DESIGNED TO RESIST ANY FLOOD LOADS THAT ARE TRANSFERRED FROM THE STAIRS TO THE BUILDING.
- THE BUILDING AND ANY ASSOCIATED DECKS, WHICH ARE LOCATED IN THE VE FLOOD ZONE, SHALL BE DESIGNED WITH A DEEP FOUNDATION (PILES OR COLUMNS) TO SUPPORT THE STRUCTURE IN THE EVENT OF SCOUR OR EROSION, AND THE BOTTOM OF THE LOWEST HORIZONTAL STRUCTURAL MEMBER FOR THE ELEVATED STRUCTURE, INCLUDING GARAGE, SHALL BE ABOVE THE DFE.

CAFRA GENERAL NOTES:

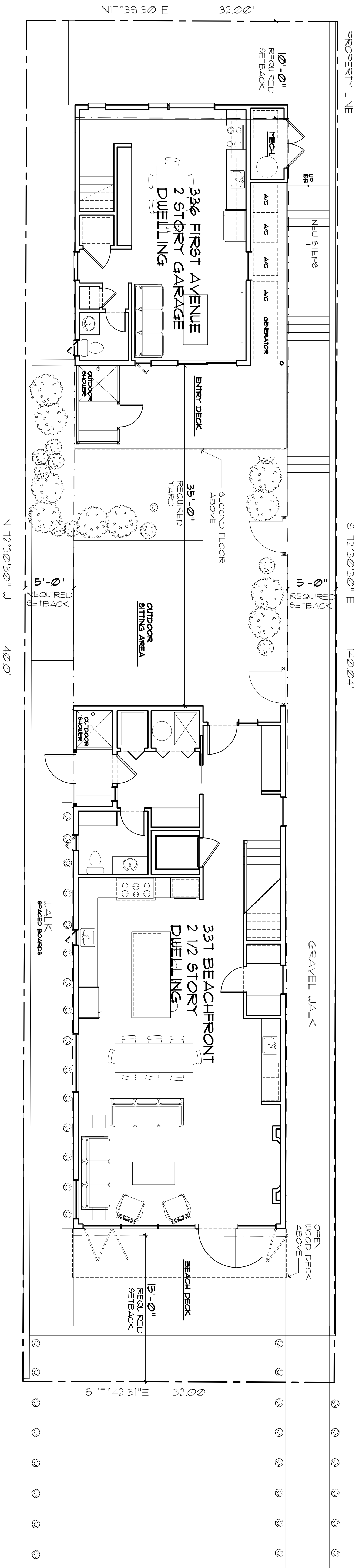
- INDIGENOUS COASTAL PLANTS ARE ENCOURAGED TO BE USED WHEREVER FEASIBLE. NO PLASTIC LINERS SHALL BE USED IN LANDSCAPED OR GRAVEL AREAS. ALL LINERS SHALL BE MADE OF FILTER CLOTH OR OTHER PERMEABLE MATERIAL.
- CROWN DRIVEWAY TO PITCH RUNOFF TO DRAIN ONTO PERMEABLE AREAS OF THE SITE OR USE OTHER PERMEABLE STONE.
- PROPOSED SILT FENCE SHALL BE ERRECTED PRIOR TO CONSTRUCTION AND SHALL REMAIN IN PLACE UNTIL ALL CONSTRUCTION AND LANDSCAPING IS COMPLETE.
- ALL CONSTRUCTION SHALL COMPLY WITH FEMA REQUIREMENTS AND FLOOD HAZARD CONTROL ACT REQUIREMENTS.
- FLOOD VENTS SHALL BE INSTALLED IN GARAGE AND LOWER LEVEL IN ACCORDANCE WITH FEMA REQUIREMENTS.

FLOOD VENTS SHALL MEET THE FOLLOWING:

- THE INVERT OF EACH FLOOD VENT SHALL BE NO MORE THAN 12 INCHES ABOVE THE ADJOINING EXTERIOR GRADE OR INTERIOR SLAB.
- THE INVERT OF AT LEAST HALF OF THE FLOOD VENTS SHALL BE NO MORE THAN 12 INCHES ABOVE THE FLOOR OF THE BUILDING.
- THE COMBINED EFFECTIVE OPEN AREA OF THE FLOOD VENTS SHALL BE AT LEAST ONE SQUARE INCH PER SQUARE FOOT OF THE AREA OF THE FOOTPRINT OF THE BUILDING, UNLESS A SMALLER FEMA-APPROVED DEVICE WITH AN EQUIVALENT EFFECTIVE AREA IS UTILIZED; AND
- THE FLOOD VENTS SHALL NOT BE BLOCKED AT ANY TIME, BUT SHALL PERMANENTLY REMAIN OPEN SO THAT THE FLOODWATERS CAN FREELY ENTER THE BUILDING TO BALANCE HYDROSTATIC PRESSURE DURING A FLOOD.
- NO FLOOD VENT SHALL BE PLACED CLOSER THAN 3 FEET TO A GAS METER OR GAS CONSUMING APPLIANCE.
- SEE ARCHITECTURAL PLANS FOR FLOOD VENT DETAILS AND MODEL.
- FLOOD VENTS TO BE PROVIDED FOR ALL ENCLOSED AREAS OF THE LOWER LEVEL ON THE BASIS OF 1 SQ. IN. OF VENTING PER SQ. FT. OF ENCLOSURE.

1	3/31/21	REVISED PER ARCHITECT REVISIONS	JAR
NO.	DATE	REVISION DESCRIPTION	BY
<b>Lindstrom, Diessner &amp; Carr, P.C.</b> ENGINEERING ♦ SURVEYING ♦ PLANNING 136 Drum Point Road • Suite 6 • Brick, NJ 08723 • Tel. (732)477-8900 • Fax. (732)477-8026			
<b>PLOT PLAN</b> <b>LOT 14 BLOCK 185</b>			
BOROUGH OF MANASQUAN MONMOUTH COUNTY NEW JERSEY		DRAWN BY: JAR SCALE: 1"=20' DATE: 12/31/2020 SHEET: 2 OF 2 PROJECT: 20075	

CONCRETE CURB



Site Plan Legend:	
	PROPERTY LINE
	SETBACK LINE
Plan North:	True North:

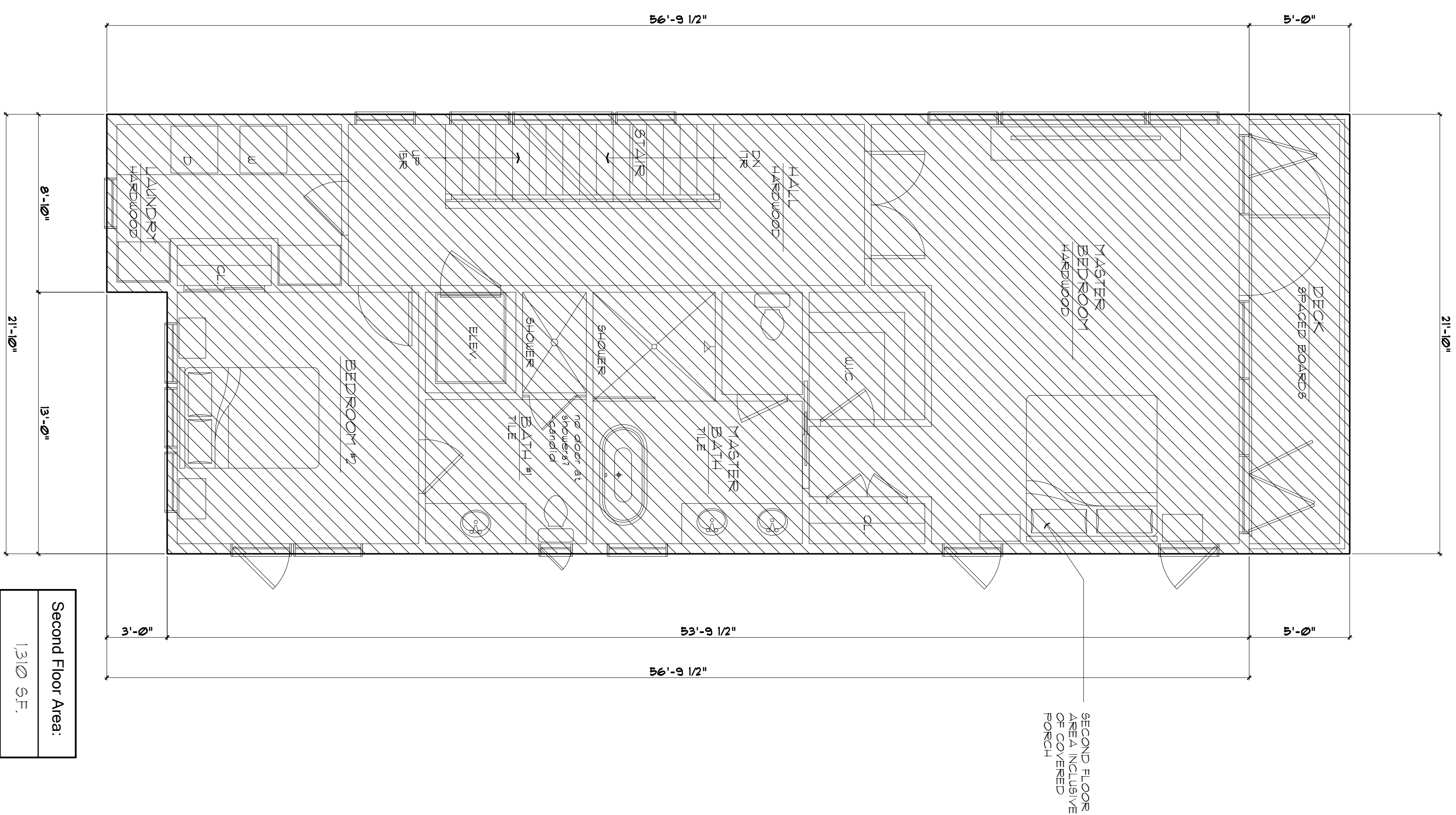
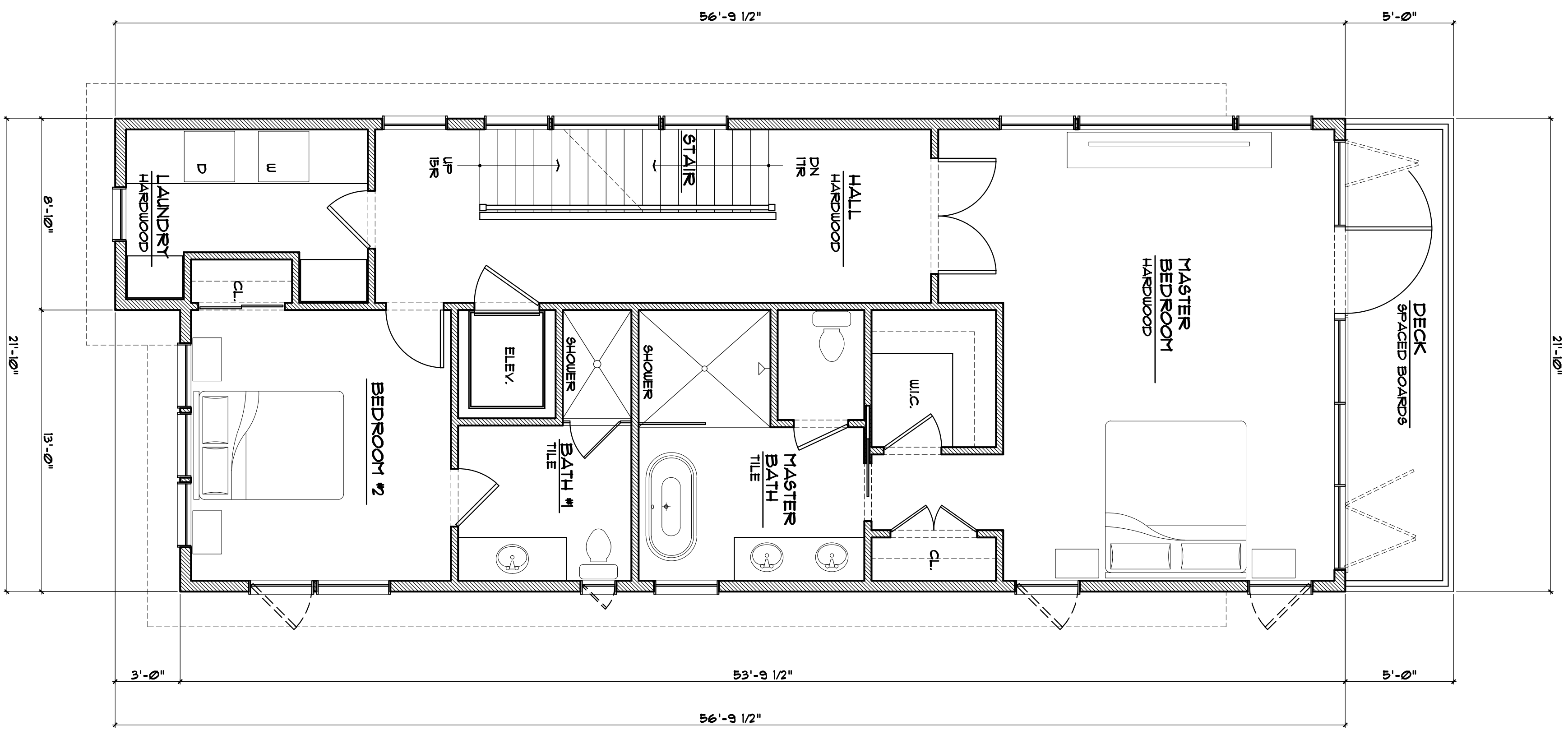
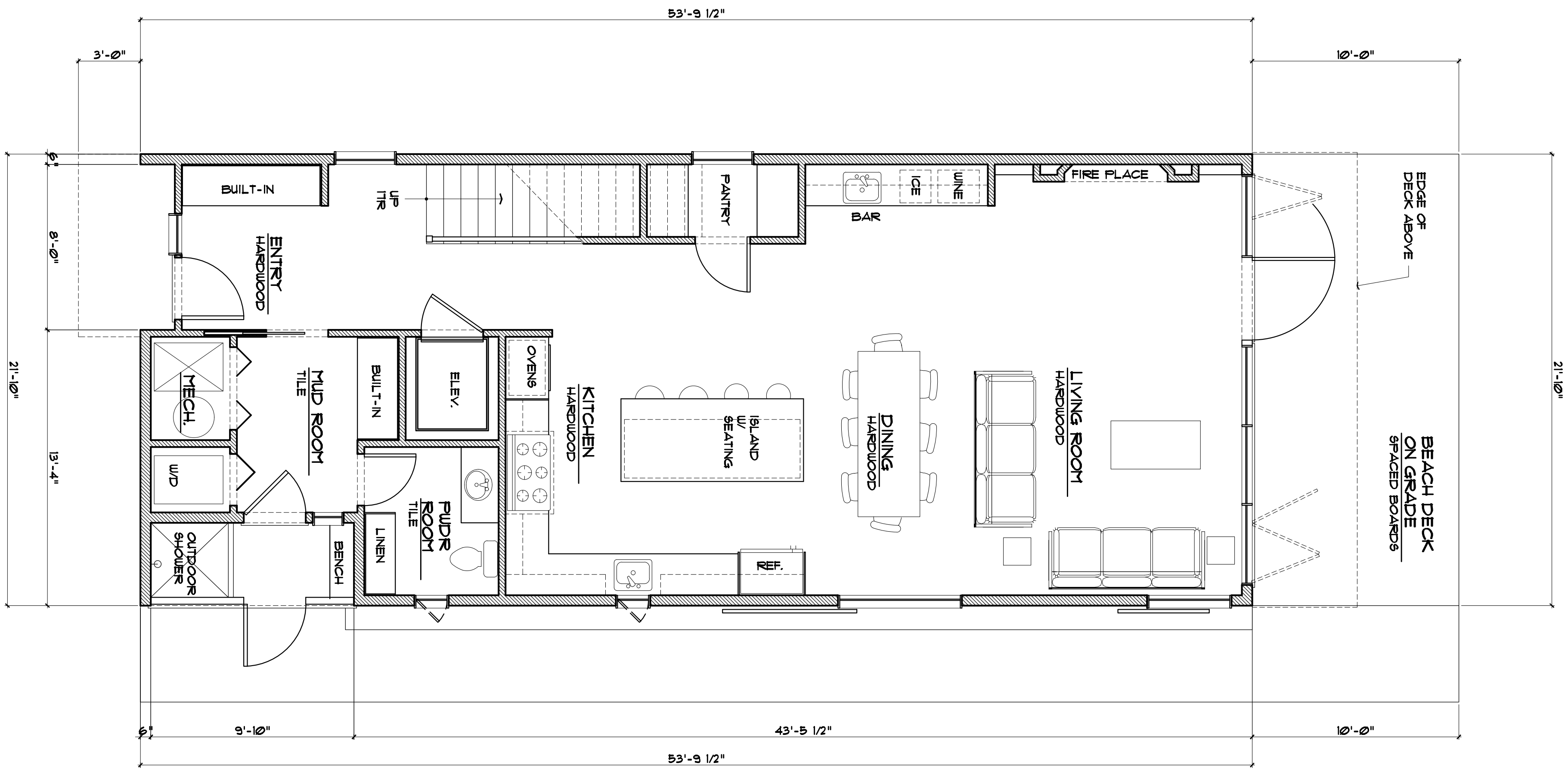
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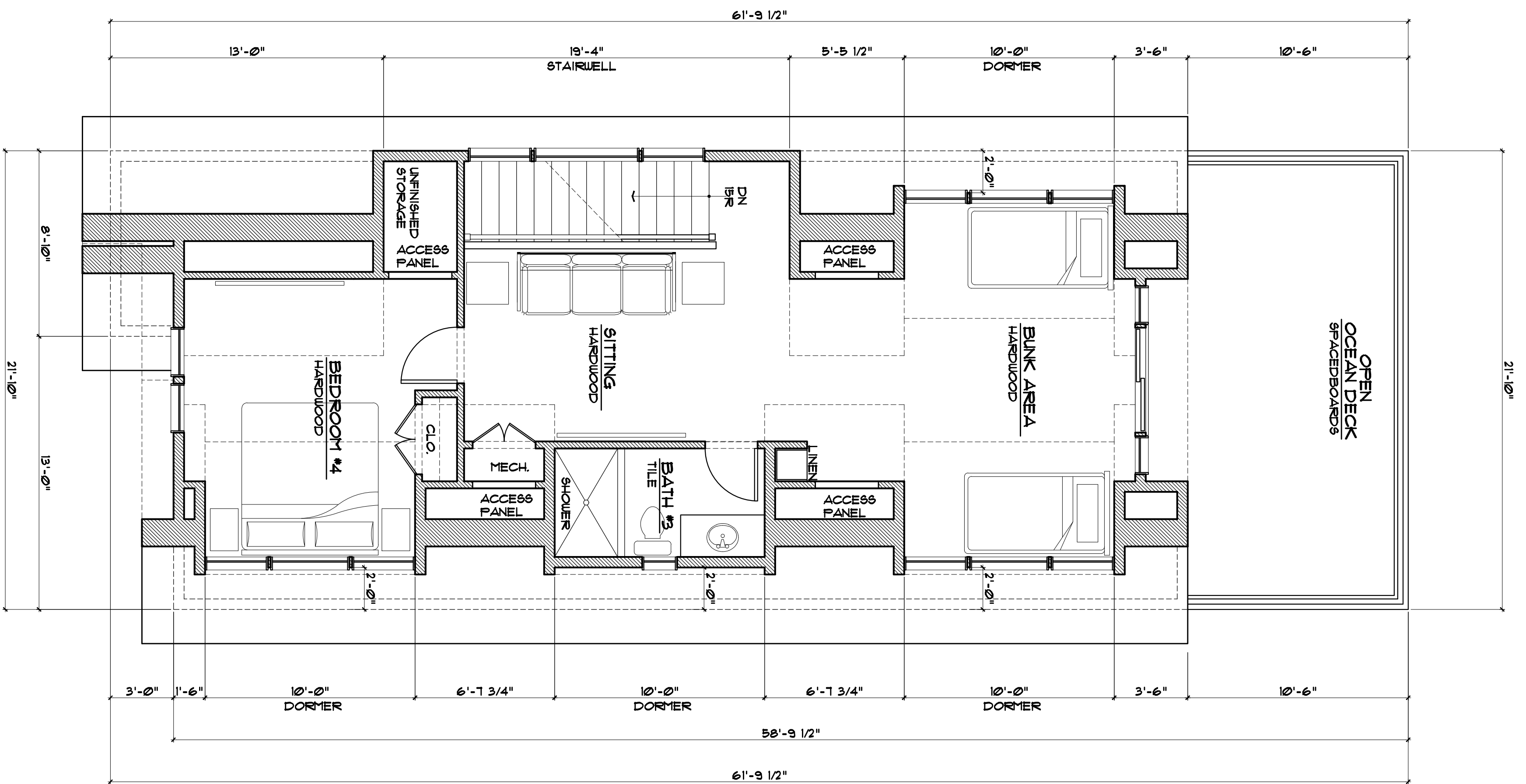
**JEFF SCHNEIDER ARCHITECT**  
 P.O. BOX 356  
 BAY HEAD, NJ 08742  
 (732) 892-8155 (T)  
 (732) 892-4331 (F)  
 JEFF@JEFFSCHNEIDERARCHITECT.COM

Jeffrey G. Schneider  
 New Jersey Architect  
 A1015418

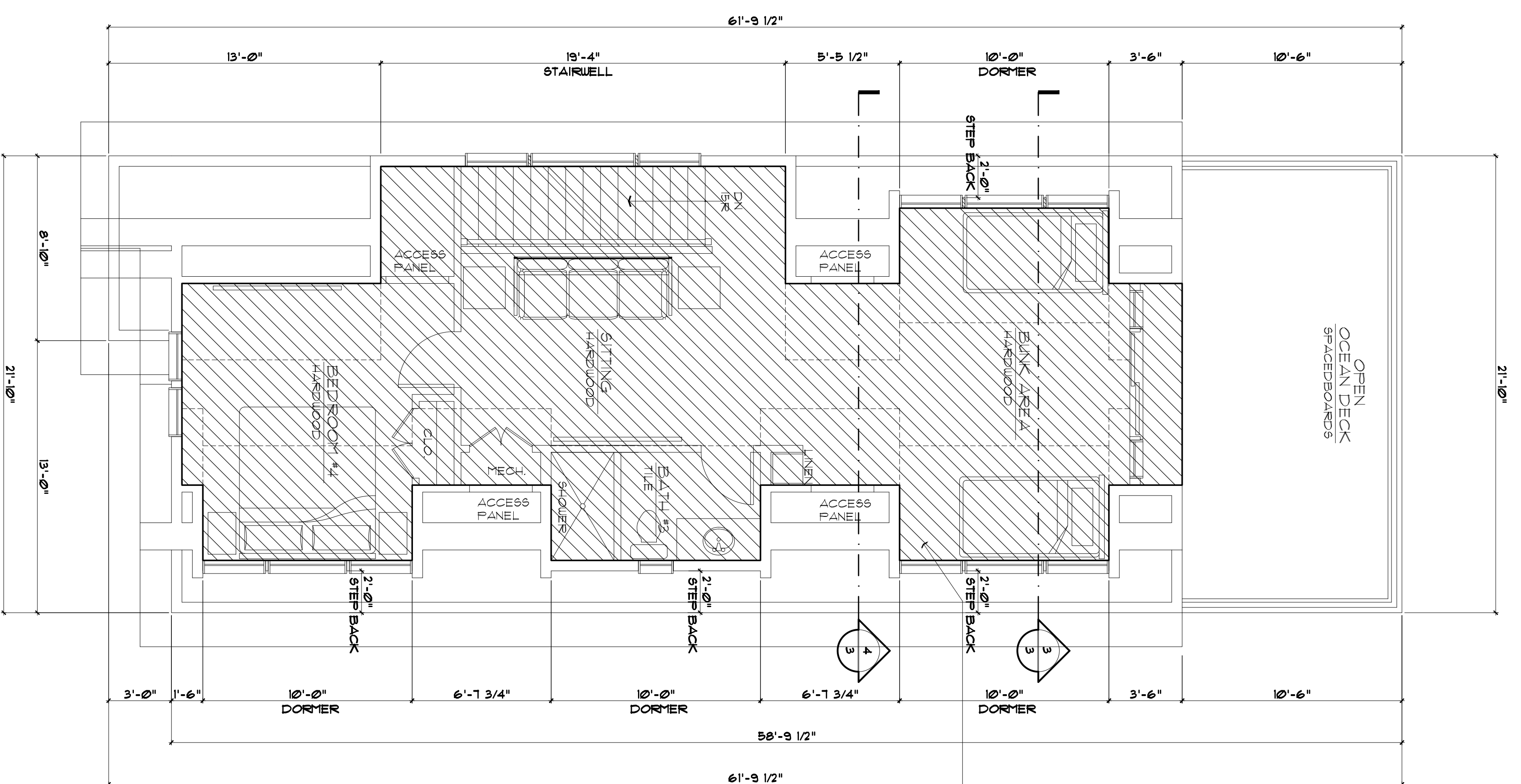
New Construction:  
**CINFIO RESIDENCE**  
 336 First Avenue  
 Borough of Manasquan, New Jersey

May 20, 2021	
revisions	date
1.	
2.	
3.	
4.	
project number	2021





1  
337 Beachfront  
Finished Attic Floor Plan  
SCALE: 1/4" = 1'-0"

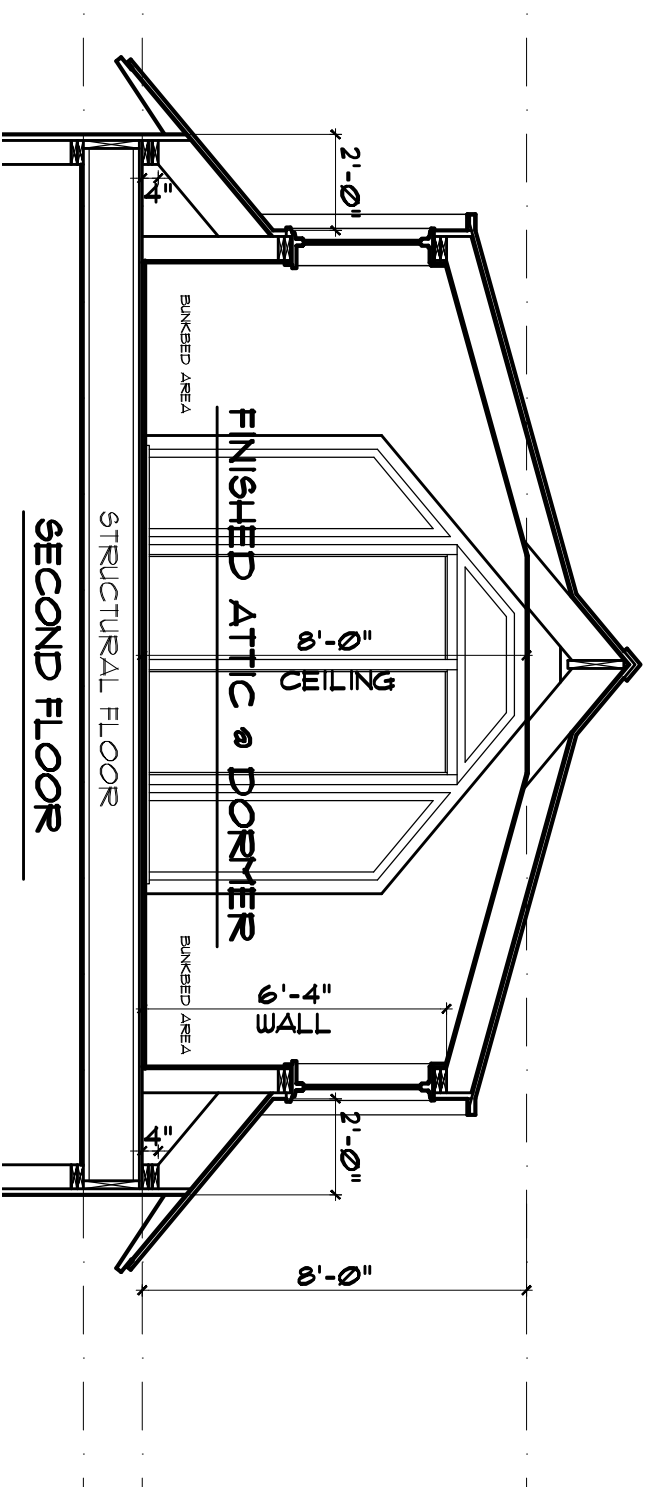


2  
337 Beachfront  
Finished Attic Floor Plan Showing  
Area of Five Feet or Greater Headroom  
SCALE: 1/4" = 1'-0"

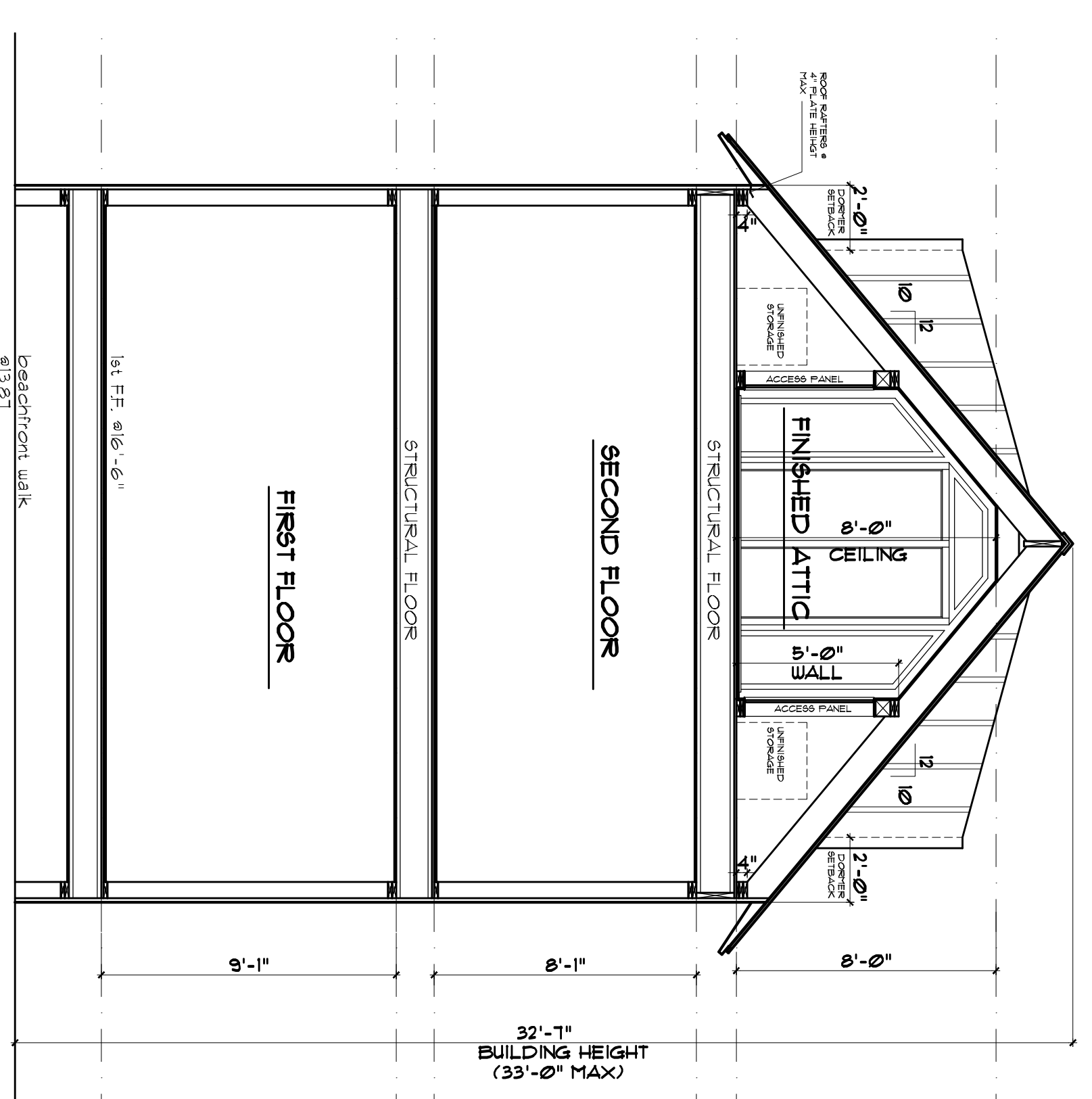
Half Story Calculation	
	113 S.F.

THE FINISHED AREA OF THE ATTIC WHERE THE INTERSECTION OF THE ROOF RAFTERS AND THE EXTERIOR WALL OCCURS WITHIN FOUR INCHES OF THE FLOOR/CEILING SYSTEM, AND IN WHICH THE MAXIMUM FLOOR AREA AT A CEILING HEIGHT OF FIVE FEET OR MORE, INCLUSIVE OF STAIRWELLS AND ROOFED OVER PORCHES, (113 SF.) OCCUPIES 54.4% OF THE SQUARE FOOTAGE DIRECTLY BELOW (130 SF.) INCLUSIVE OF ROOFED OVER PORCHES. 60% IS THE MAXIMUM ALLOWABLE.

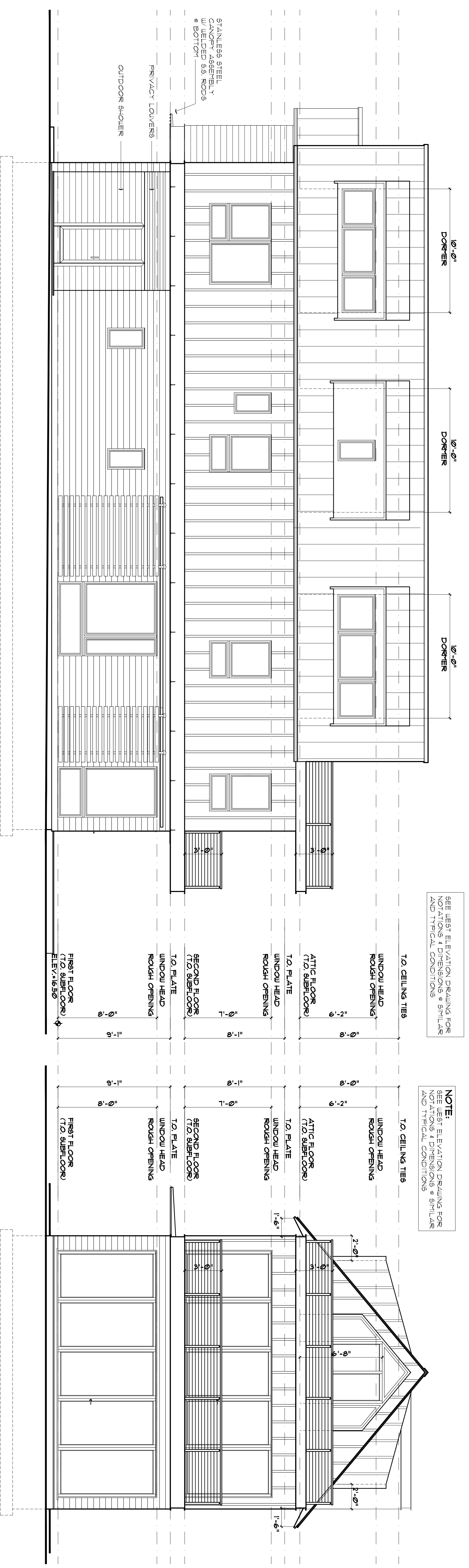
HATCH REPRESENTS THE FINISHED AREA OF ATTIC IN WHICH HEIGHT OF FIVE FEET OR MORE INCLUSIVE OF STAIRWELLS AND ROOFED OVER PORCHES



3  
337 Beachfront  
Section @ Garret Dormer  
SCALE: 1/4" = 1'-0"

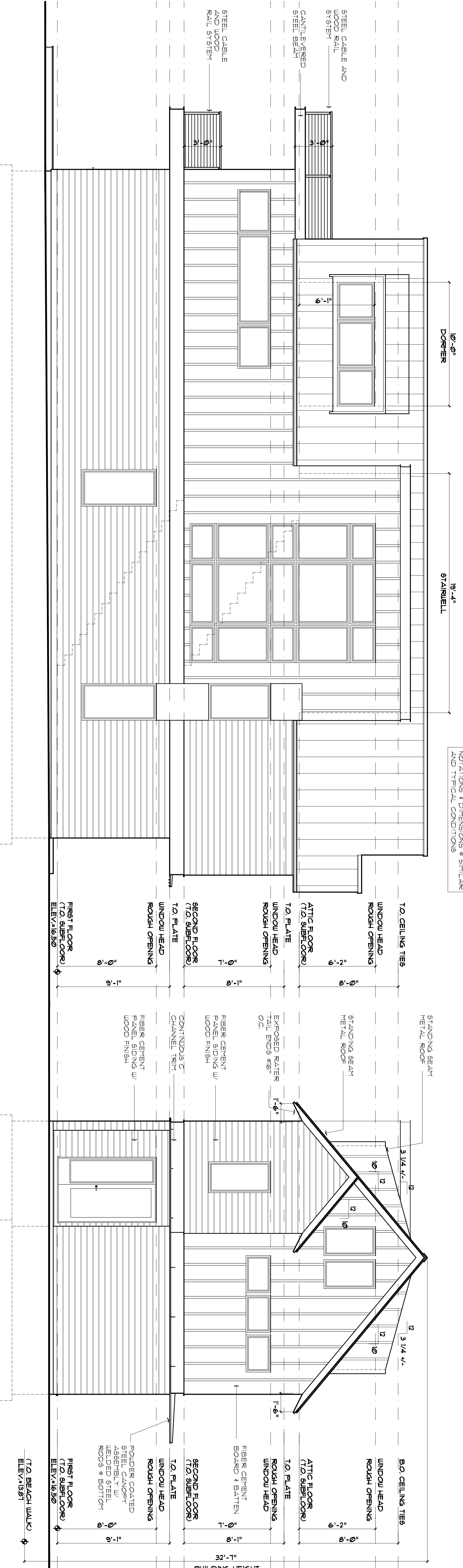


4  
337 Beachfront  
Building Section  
SCALE: 1/4" = 1'-0"



4  
337 Beachfront  
South Elevation  
SCALE: 1/4" = 1'-0"

3  
337 Beachfront  
East Elevation  
SCALE: 1/4" = 1'-0"



2  
337 Beachfront  
North Elevation  
SCALE: 1/4" = 1'-0"

1  
337 Beachfront  
West Elevation  
SCALE: 1/4" = 1'-0"

revisions	date
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3.	
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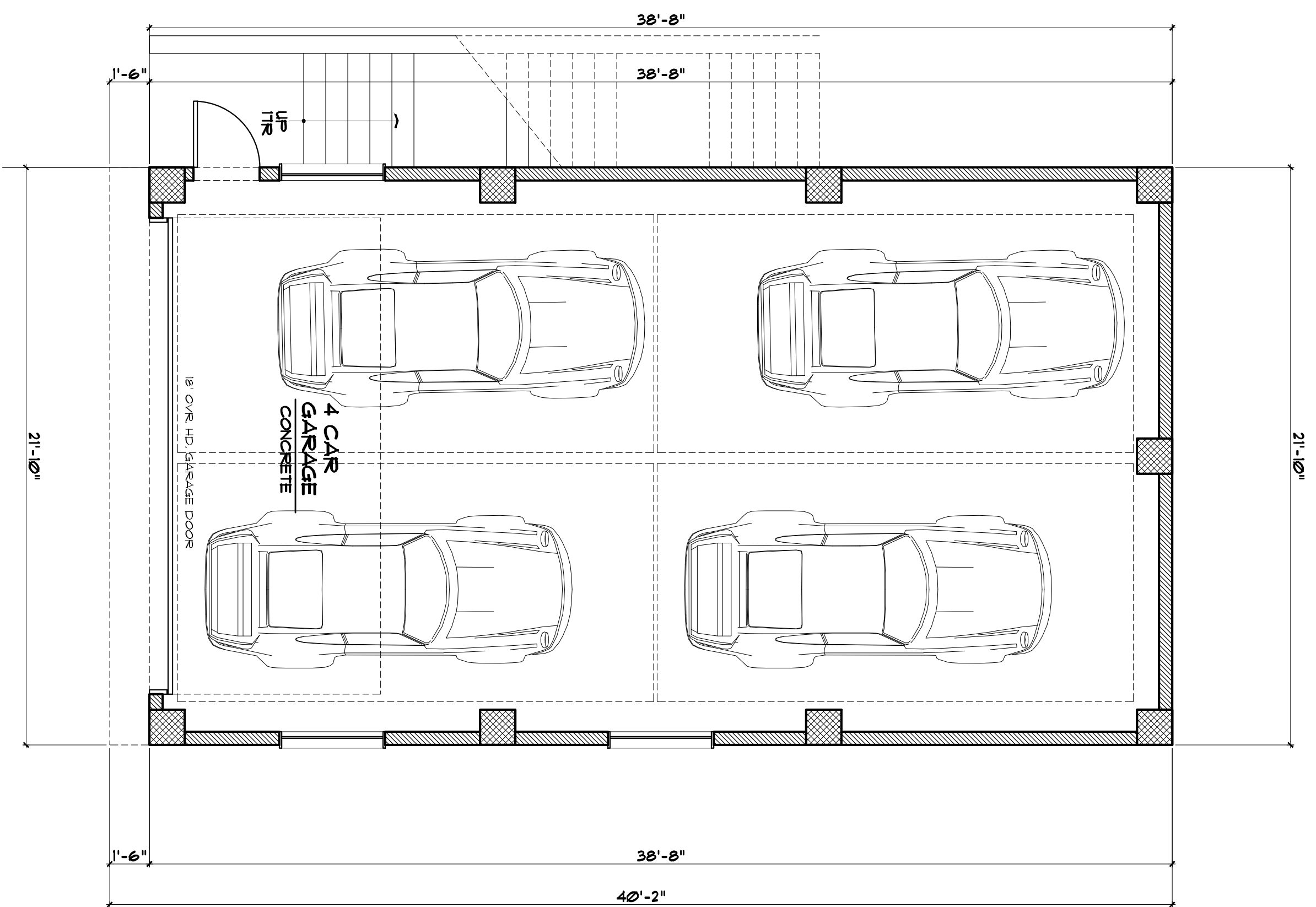
project number  
2021

New Construction:  
**CINFIO RESIDENCE**  
336 First Avenue  
Borough of Manasquan, New Jersey

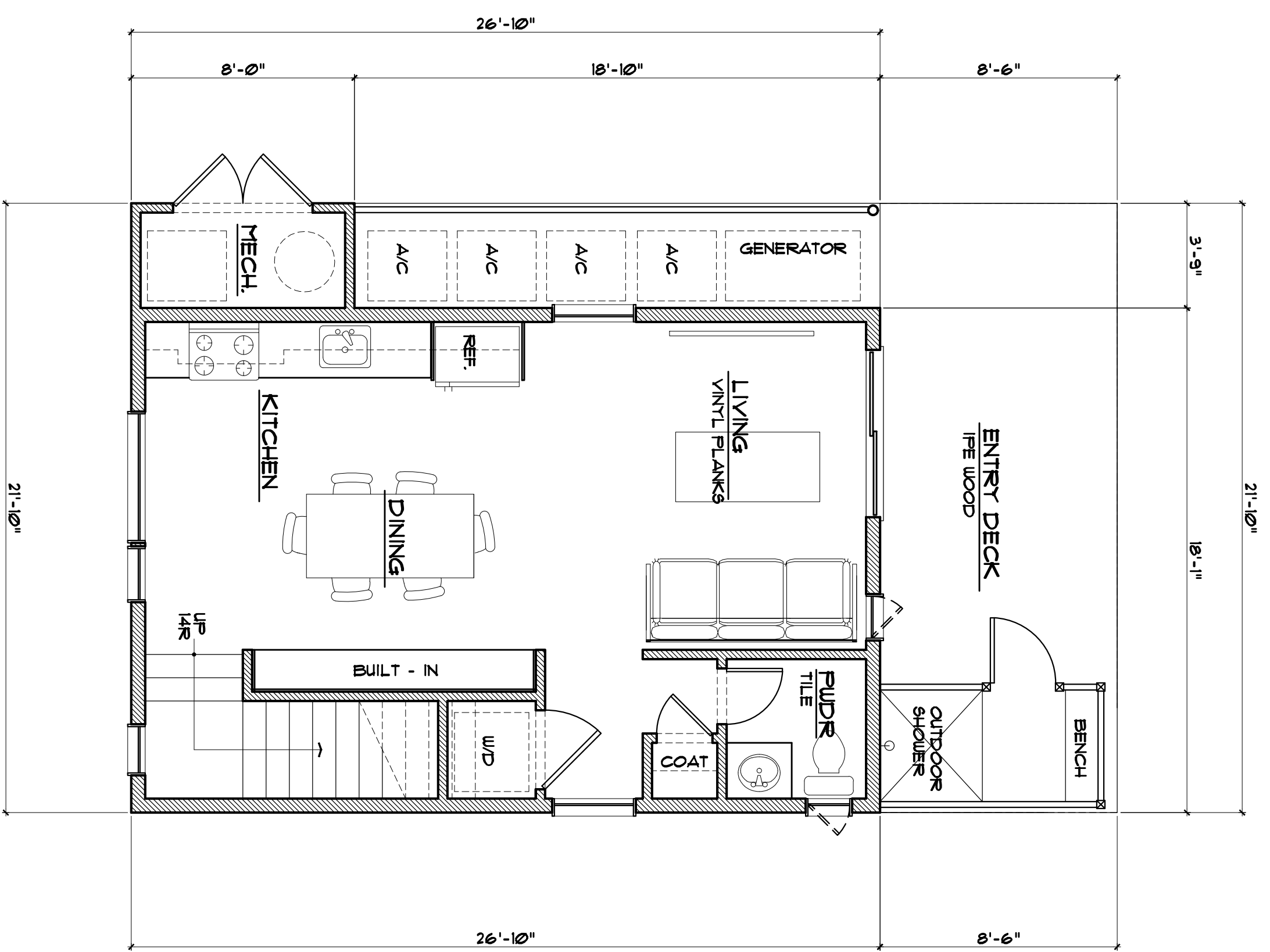
Jeffrey G. Schneider  
New Jersey Architect  
AI015418

**JEFF SCHNEIDER ARCHITECT**  
P.O. BOX 356  
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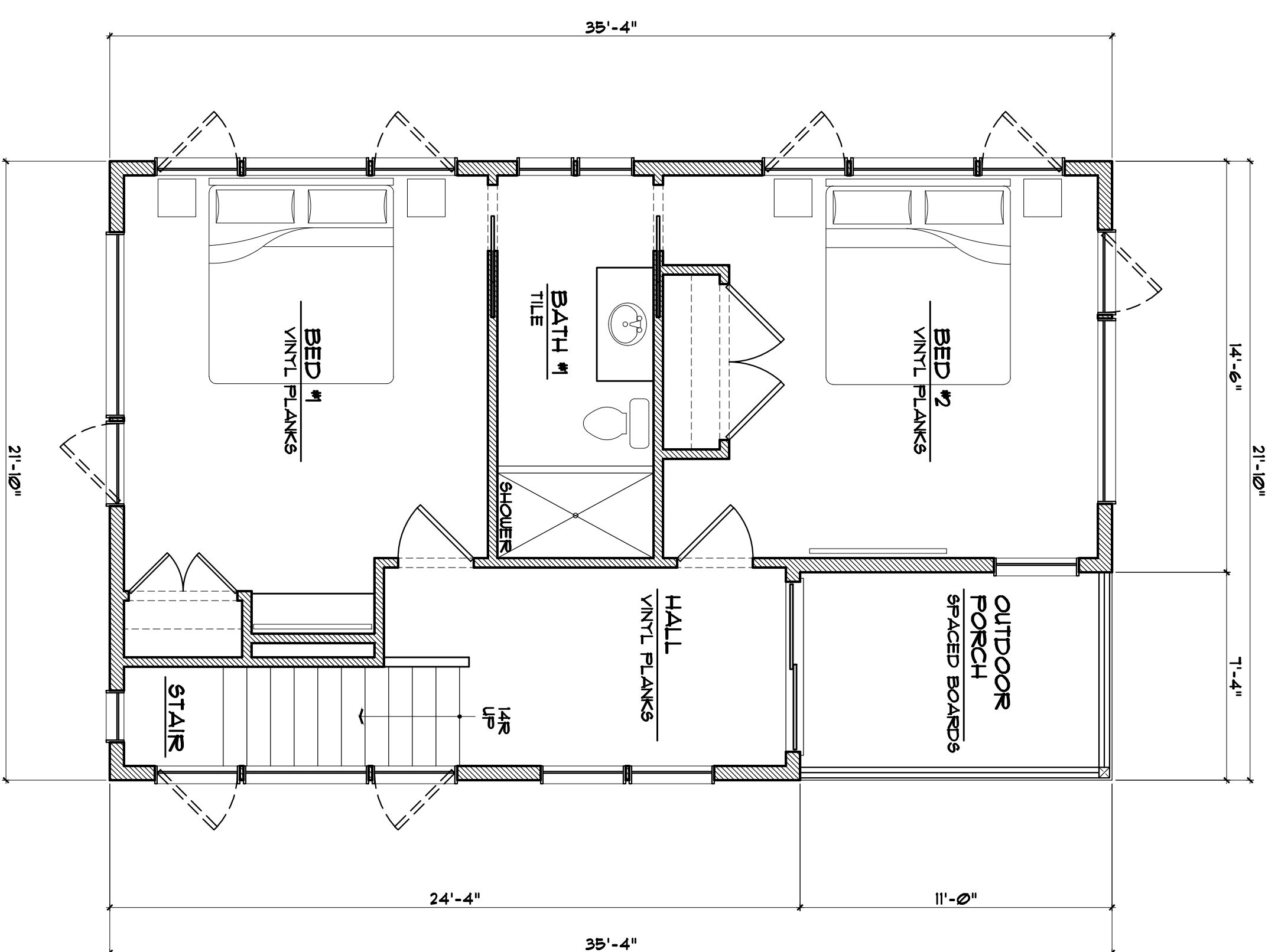
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1  
336 First Avenue  
Grade Level Plan  
SCALE: 1/4" = 1'-0"



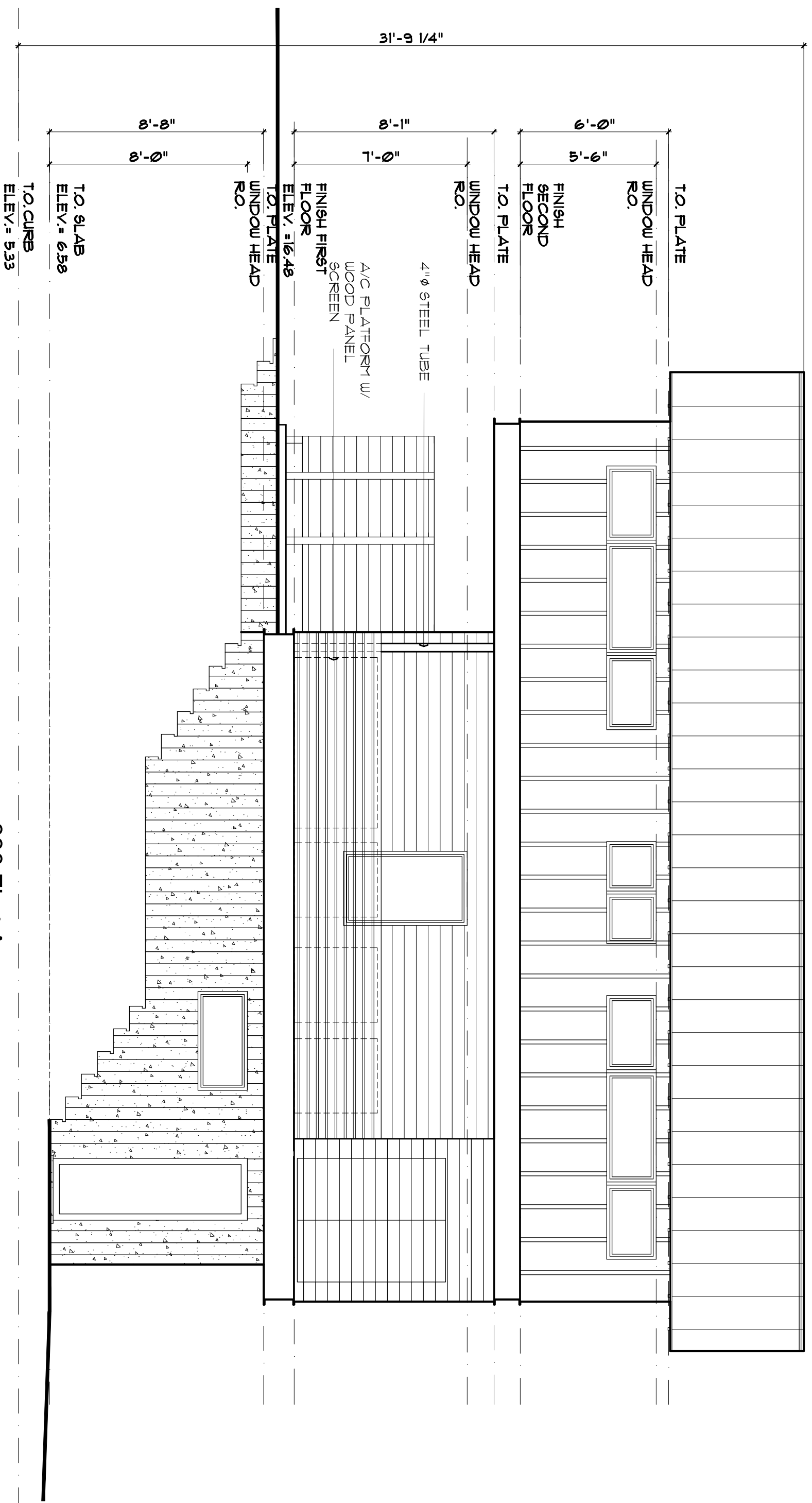
2  
336 First Avenue  
First Floor Plan  
SCALE: 1/4" = 1'-0"



3  
336 First Avenue  
Second Floor Plan  
SCALE: 1/4" = 1'-0"

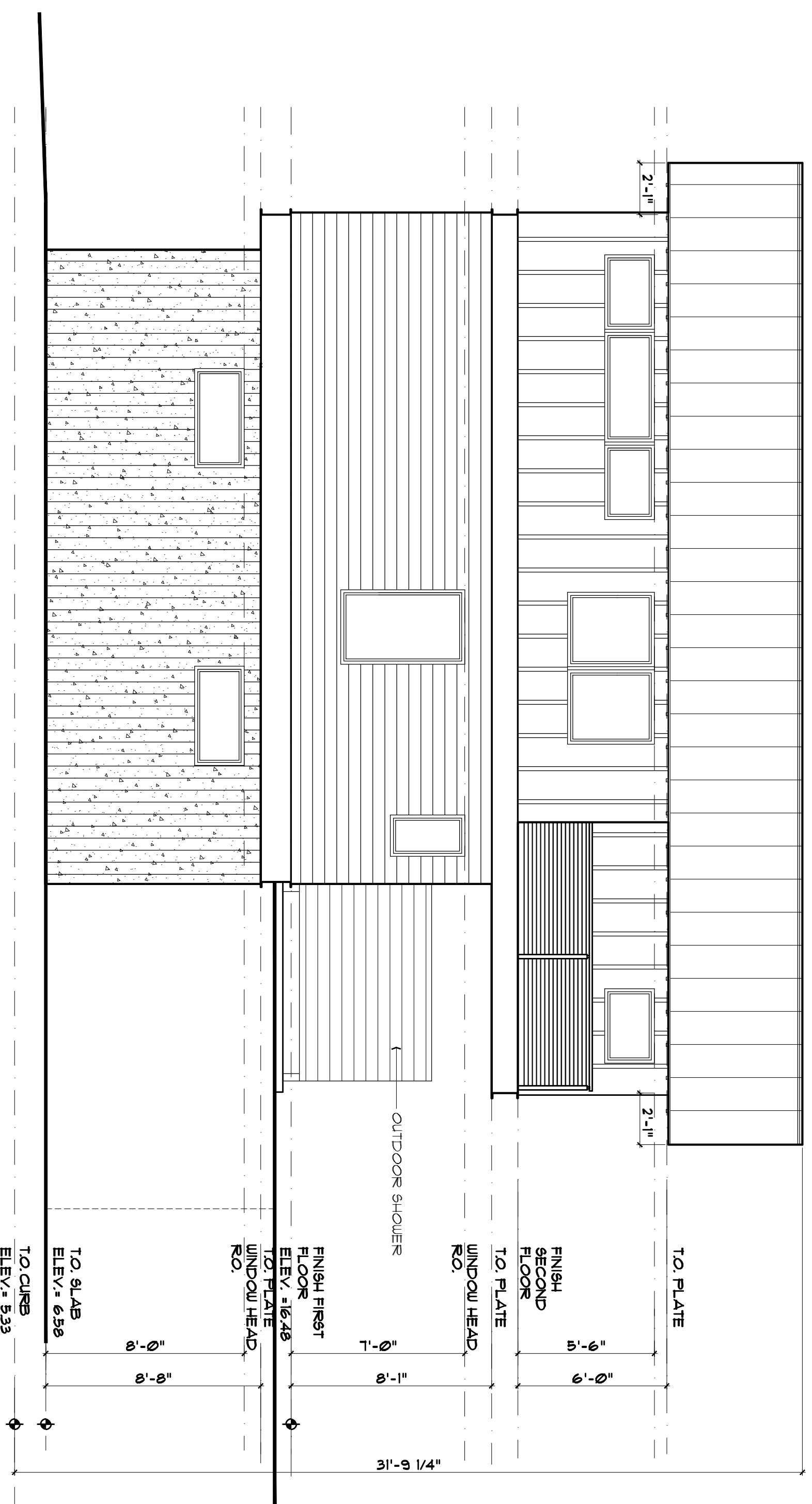
revisions	date
1.	
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4.	
project number	2092

NOTE:  
SEE WEST ELEVATION DRAWING FOR  
NOTATIONS & DIMENSIONS & SIMILAR  
AND TYPICAL CONDITIONS



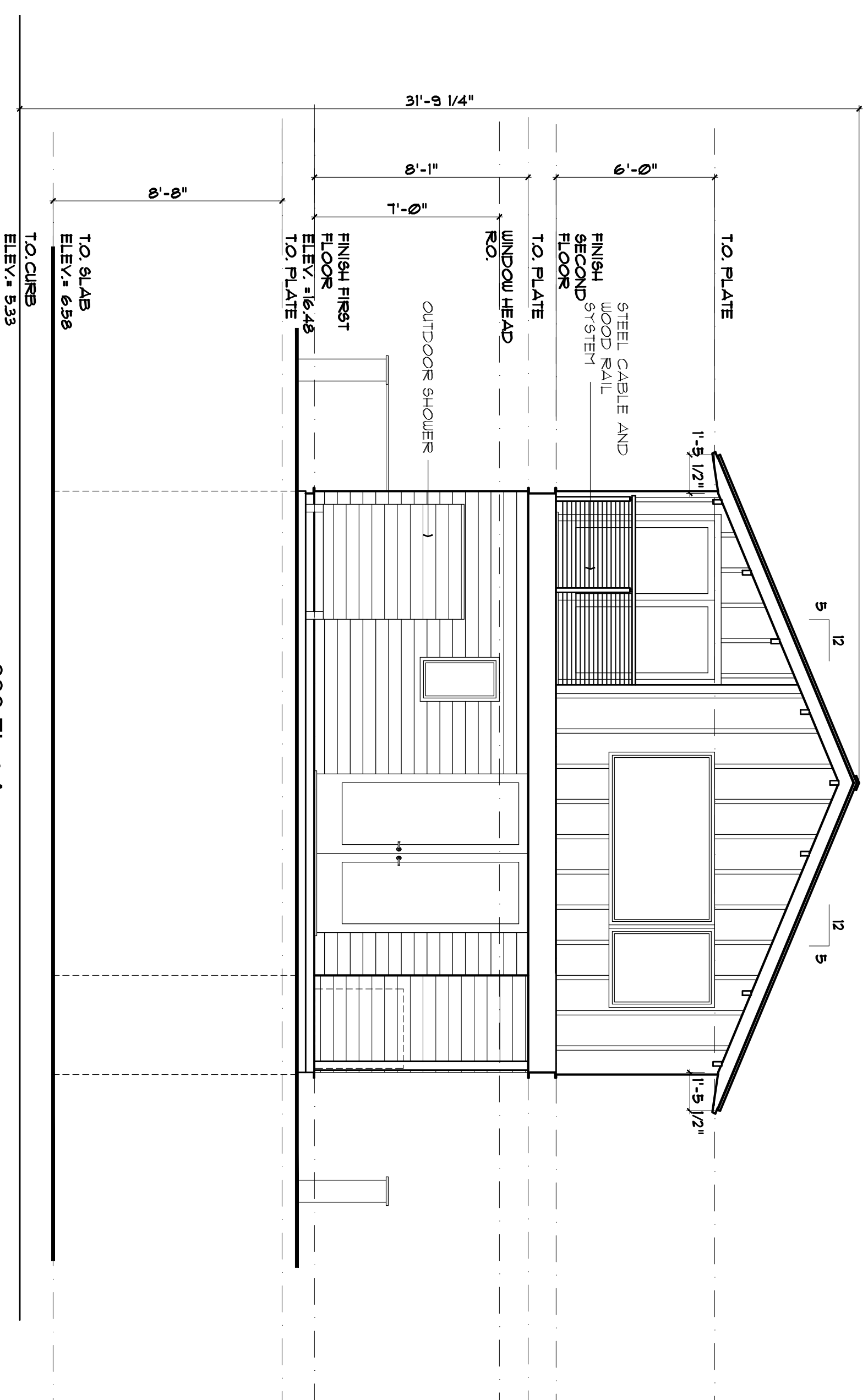
4  
336 First Avenue  
North Elevation  
SCALE: 1/4" = 1'-0"

NOTE:  
SEE WEST ELEVATION DRAWING FOR  
NOTATIONS & DIMENSIONS & SIMILAR  
AND TYPICAL CONDITIONS

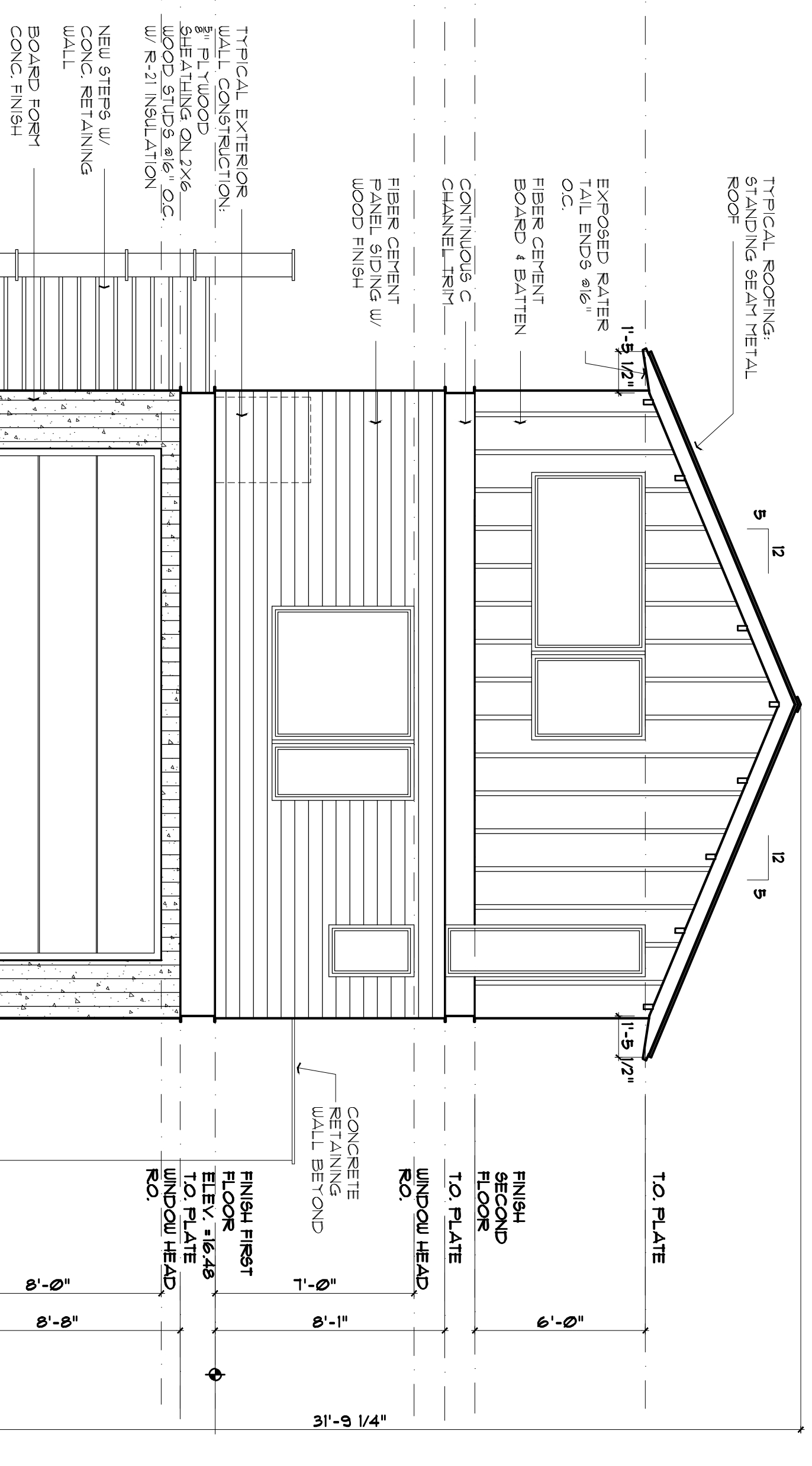


2  
336 First Avenue  
South Elevation  
SCALE: 1/4" = 1'-0"

NOTE:  
SEE WEST ELEVATION DRAWING FOR  
NOTATIONS & DIMENSIONS & SIMILAR  
AND TYPICAL CONDITIONS



3  
336 First Avenue  
East Elevation  
SCALE: 1/4" = 1'-0"

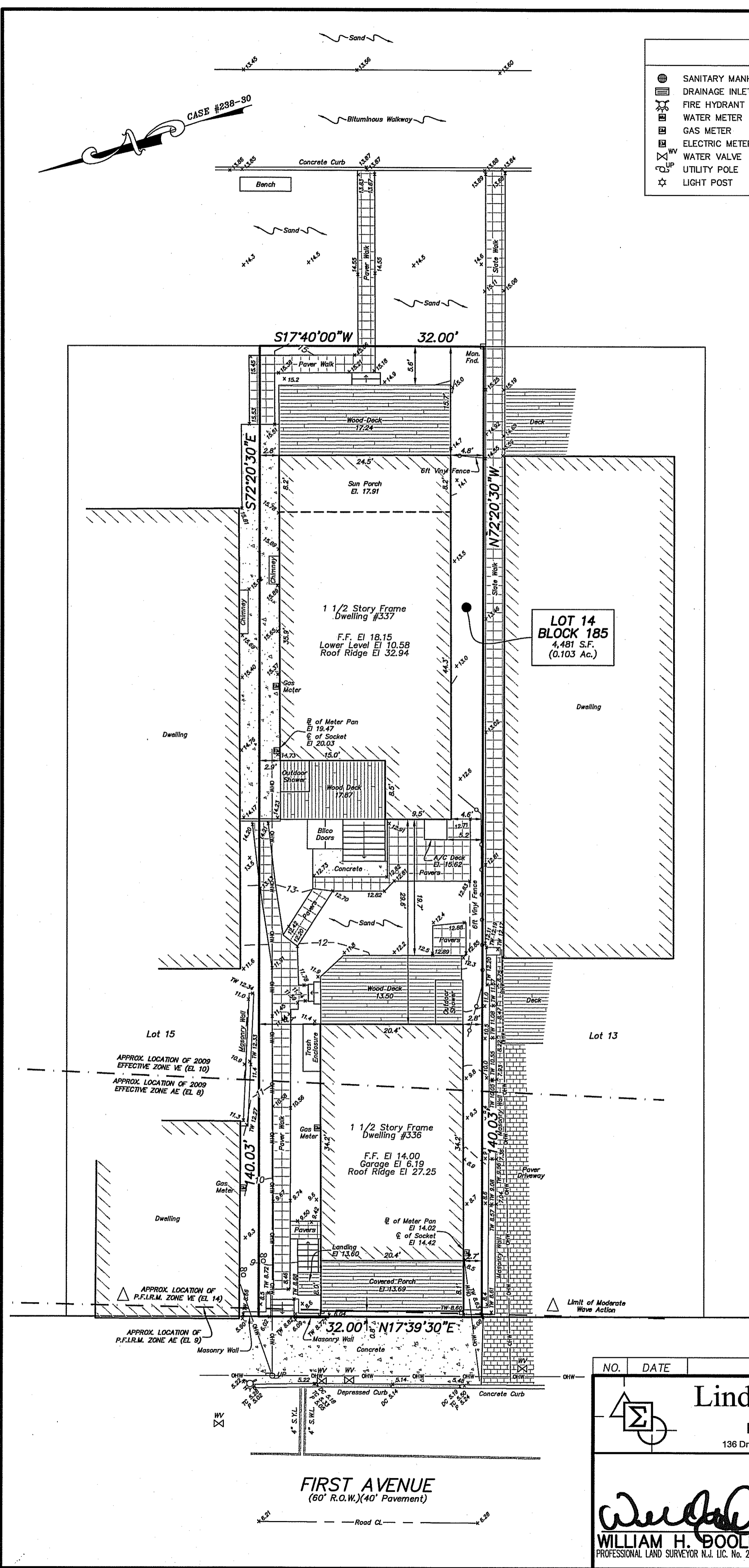


1  
336 First Avenue  
West Elevation  
SCALE: 1/4" = 1'-0"

revisions	date
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2.	
3.	
4.	
project number	2021

May 20, 2021

LEGEND					
	SANITARY MANHOLE		CLEANOUT		MINOR CONTOUR
	DRAINAGE INLET		SIGN		MAJOR CONTOUR
	FIRE HYDRANT		ELECTRIC BOX		GAS
	WATER METER		MAIL BOX		WATER MAIN
	GAS METER		CAPPED ROD FOUND		CABLE
	ELECTRIC METER		MONUMENT FOUND		ELECTRIC & TELEPHONE
	WATER VALVE		BOLLARD		OVERHEAD ELECTRIC
	UTILITY POLE		AC UNIT		UNDERGROUND ELECTRIC
	LIGHT POST		CABLE BOX		SANITARY SEWER



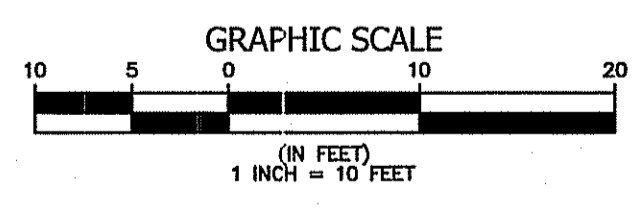
- NOTES:**
- ELEVATIONS BASED ON NAVD 1988 DATUM AND GPS RTK OBSERVATIONS.
  - PROPERTY LOCATED IN FLOOD ZONES AE (EL 8) & VE (EL 10), COMMUNITY NUMBER 345303 MAP NUMBER 34025C0456F, EFFECTIVE DATE SEPTEMBER 25, 2009. PROPERTY LOCATED IN FLOOD ZONES AE (EL 9) & VE (EL 14) LIMWA, BASED ON FEMA PRELIMINARY FLOOD INSURANCE RATE MAPS REVISED JANUARY 31, 2014.
  - PROPERTY CORNERS TO BE SET AT LATER DATE.

- REFERENCES USED:**
- FILED MAP, CASE #238-30
  - DEED BOOK 9358, PAGE 2093

**PROPERTY DESCRIPTION:**

BEING KNOWN AS LOT 14 IN BLOCK 185 AS SHOWN ON A MAP ENTITLED "FINAL MAP OF BLOCK 185, LANDS OF AMERICAN TIMBER COMPANY, BOROUGH OF MANASQUAN, MONMOUTH COUNTY, N.J." FILED IN THE OFFICE OF THE MONMOUTH COUNTY CLERK ON NOVEMBER 9, 1990 AS MAP CASE #238-30.

ALSO BEING KNOWN AS LOT 14 IN BLOCK 185 ON THE OFFICIAL TAX MAP SHEET 31 OF BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY.

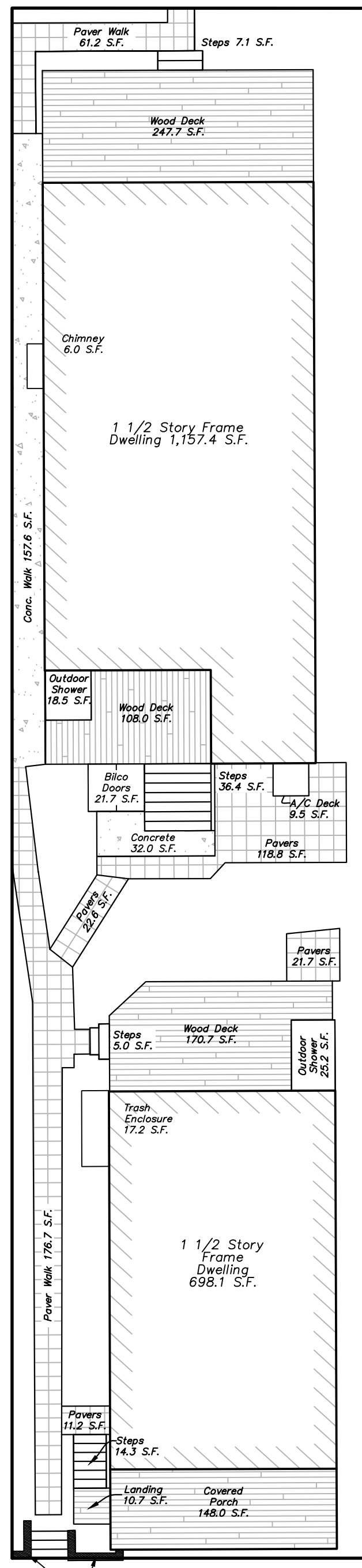


OFFSET DIMENSIONS FROM BUILDINGS AND FENCES AS SHOWN HEREON ARE NOT TO BE USED FOR ESTABLISHING PROPERTY LINES AND SETBACK LINES. THIS SURVEY SUBJECT TO ANY EASEMENT OF RECORD AND OTHER PERTINENT FACTS WHICH AN ACCURATE TITLE SEARCH MIGHT DISCLOSE. UNDERGROUND IMPROVEMENTS OR ENCROACHMENTS, IF ANY, ARE NOT SHOWN HEREON. ENVIRONMENTALLY SENSITIVE AREAS AND HAZARDOUS WASTE SITES, IF ANY, ARE NOT LOCATED BY THIS SURVEY. NO ATTEMPT WAS MADE TO DETERMINE IF ANY PORTION OF THIS PROPERTY IS CLAIMED BY THE STATE OF NEW JERSEY AS TIDELANDS. ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S EMBOSSED SEAL SIGNIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE ADOPTED BY THE N.J. STATE BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS. NO LIABILITY IS ASSUMED BY THE CERTIFYING SURVEYOR FOR THE USE OF THIS SURVEY BY ANY PARTY NOT SHOWN ON THE CERTIFICATIONS HEREON, OR FOR THE USE OF SURVEY WITH SURVEY AFFIDAVIT. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.

NO.	DATE	REVISION DESCRIPTION	BY
<h2 style="margin: 0;">Lindstrom, Diessner &amp; Carr, P.C.</h2> <p style="margin: 0;">ENGINEERING ♦ SURVEYING ♦ PLANNING</p> <p style="margin: 0;">136 Drum Point Road • Suite 6 • Brick, NJ 08723 • Tel.(732)477-8900 • Fax.(732)477-8026</p>			
<h3 style="margin: 0;">TOPOGRAPHIC SURVEY</h3> <p style="margin: 0;">LOT 14 BLOCK 185</p>			
<p style="margin: 0;">BOROUGH OF MANASQUAN MONMOUTH COUNTY NEW JERSEY</p>			
<p style="margin: 0;"><b>WILLIAM H. BOOLITTLE</b> PROFESSIONAL LAND SURVEYOR N.J. LIC. No. 246S03624000</p>		<p style="margin: 0;">DRAWN BY: JGK</p>	<p style="margin: 0;">SCALE: 1"=10'</p>
<p style="margin: 0;">DATE: 7/20/2020</p>		<p style="margin: 0;">SHEET: 1 OF 1</p>	<p style="margin: 0;">PROJECT: 20075</p>

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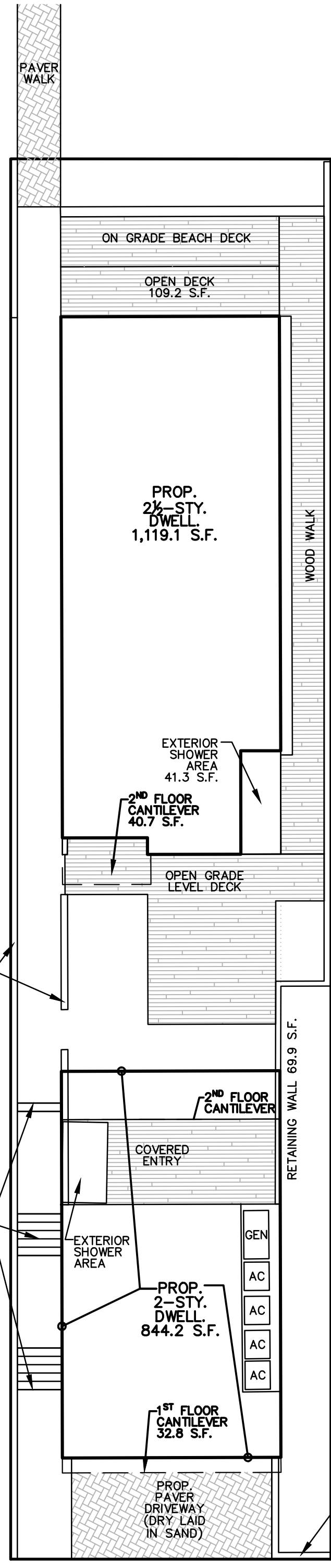
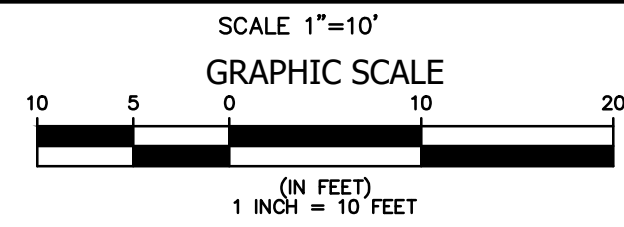
**EXISTING BUILDING COVERAGE**

CHIMNEY	6.0 S.F.
1 1/2 STORY FRAME DWELLING	1,157.4 S.F.
OUTDOOR SHOWER	25.2 S.F.
1 1/2 STORY FRAME DWELLING COVERED PORCH	698.1 S.F.
TOTAL	2,034.7 S.F.

**EXISTING LOT COVERAGE**

STEPS	7.1 S.F.
WOOD DECK	247.7 S.F.
CHIMNEY	6.0 S.F.
1 1/2 STORY FRAME DWELLING	1,157.4 S.F.
CONC. WALK	157.6 S.F.
OUTDOOR SHOWER	18.8 S.F.
WOOD DECK	108.0 S.F.
STEPS	21.7 S.F.
BILCO DOORS	9.5 S.F.
A/C DECK	32.0 S.F.
CONCRETE	32.0 S.F.
STEPS	5.0 S.F.
WOOD DECK	170.7 S.F.
OUTDOOR SHOWER	25.2 S.F.
TRASH ENCLOSURE	17.2 S.F.
1 1/2 STORY FRAME DWELLING	698.1 S.F.
STEPS	14.3 S.F.
LANDING	10.7 S.F.
COVERED PORCH	148.0 S.F.
MASONRY WALLS	6.8 S.F.
TOTAL	2,897.9 S.F.

**EXISTING COVERAGE CALCULATIONS DETAIL**



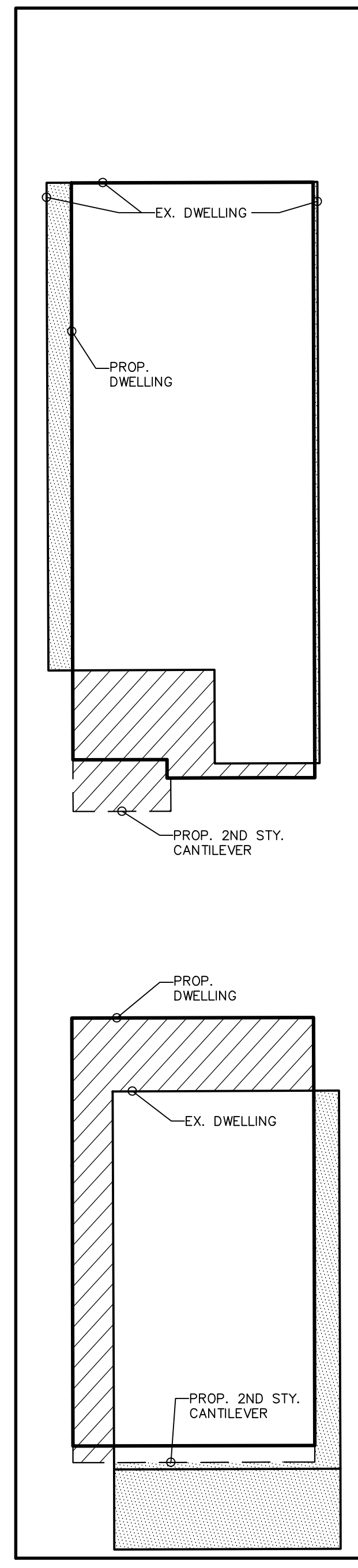
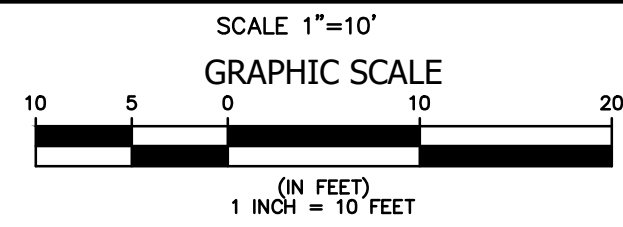
**PROPOSED BUILDING COVERAGE**

PROP. 2 1/2-STY. DWELL.	1,119.1 S.F.
EXTERIOR SHOWER AREA	41.3 S.F.
2ND FLOOR CANTILEVER	40.7 S.F.
PROP. 2-STY. DWELL.	844.2 S.F.
1ST FLOOR CANTILEVER	32.8 S.F.
TOTAL	2,078.1 S.F.

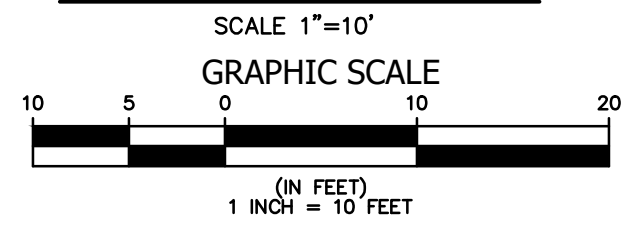
**PROPOSED LOT COVERAGE**

PROP. 2 1/2-STY. DWELL.	1,119.1 S.F.
EXTERIOR SHOWER AREA	41.3 S.F.
2ND FLOOR CANTILEVER	40.7 S.F.
PROPOSED RETAINING WALLS	90.4 S.F.
RETAINING WALL	69.9 S.F.
PROP. 2-STY. DWELL.	844.2 S.F.
1ST FLOOR CANTILEVER	32.8 S.F.
CONC. STEPS	40.8 S.F.
PROPOSED RETAINING WALL	10.3 S.F.
TOTAL	2,289.5 S.F.

**PROPOSED COVERAGE CALCULATIONS DETAIL**



**FOOTPRINT DIAGRAM**



**FLOOD HAZARD CONTROL ACT NOTES**

- DECK:
  - THE DECK IS NOT ENCLOSED WITH WALLS EITHER ABOVE OR BELOW ITS FLOOR EXCEPT FOR PROTECTIVE OR DECORATIVE FENCING BANISTERS OR LATTICE WORK THAT ALLOW FLOODWATERS TO PASS FREELY.
  - THE DECK WILL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE FEDERAL FLOOD REDUCTION STANDARDS 44 C.F.R. PART 60 & FEMA'S TECHNICAL BULLETINS.
  - THE DECK SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH PERMIT-BY-RULE 16 AT N.J.A.C. 7:13-7.16
- RESIDENTIAL CONSTRUCTION IN TIDAL FLOOD HAZARD AREA
  - THE PROPOSED FINISHED FLOOR LIVING SPACE IS ELEVATION 16.5 FOR OCEAN FRONT AND 16.48 FOR FIRST AVENUE NAVD88.
  - LOWEST FLOOR SHALL MEET THE FOLLOWING:
    - THE ENCLOSURE IS USED SOLELY FOR PARKING OF VEHICLES, BUILDING ACCESS OR STORAGE;
    - THE FLOOR OF THE ENCLOSURE IS SITUATED AT OR ABOVE THE ADJOINING EXTERIOR GRADE ALONG AT LEAST ONE ENTIRE EXTERIOR WALL, IN ORDER TO PROVIDE POSITIVE DRAINAGE OF THE ENCLOSED AREA; AND
    - THE ENCLOSURE IS CONSTRUCTED WITH FEMA COMPLIANT BREAKAWAY WALLS AND PERMANENT FLOOD OPENINGS THAT MEET THE REQUIREMENTS OF THE UNIFORM CONSTRUCTION CODE AT N.J.A.C. 5:23
    - THE DEED FOR THE LOT ON WHICH THE ENCLOSURE OR GARAGE IS CONSTRUCTED IS MODIFIED TO:
      - EXPLAIN THAT THE ENCLOSURE OR GARAGE IS LIKELY TO BE INUNDATED BY FLOODWATERS, WHICH MAY RESULT IN DAMAGE AND/OR INCONVENIENCE.
      - DISCLOSE THE DEPTH OF FLOOD THAT THE ENCLOSURE OR GARAGE WOULD EXPERIENCE DURING THE FEMA 100-YEAR FLOOD AND FLOOD HAZARD AREA DESIGN FLOOD, IF EITHER ELEVATION IS KNOWN;
      - PROHIBIT HABITATION OF THE ENCLOSURE OR GARAGE; AND
      - EXPLAIN THAT CONVERTING THE ENCLOSURE OR GARAGE INTO A HABITABLE AREA MAY SUBJECT THE PROPERTY OWNER TO ENFORCEMENT ACTION BY THE NADER;
  - THE PROPOSED DRIVEWAY ASSOCIATED WITH HABITABLE BUILDING SHALL MEET THE REQUIREMENTS AT N.J.A.C. 7:13-12.6(f). THE DRIVEWAY WILL NOT BE CONSTRUCTED FOR A BUILDING THAT IS PART OF RESIDENTIAL SUBDIVISION OR MULTIUNIT DEVELOPMENT AND A DEED MODIFICATION WILL BE PROVIDED IN ACCORDANCE WITH 12.6(f), SINCE IT IS NOT FEASIBLE TO CONSTRUCT THE DRIVEWAY AT LEAST ONE FOOT ABOVE THE BFE OF 14.0' NAVD.

**V-ZONE NOTES**

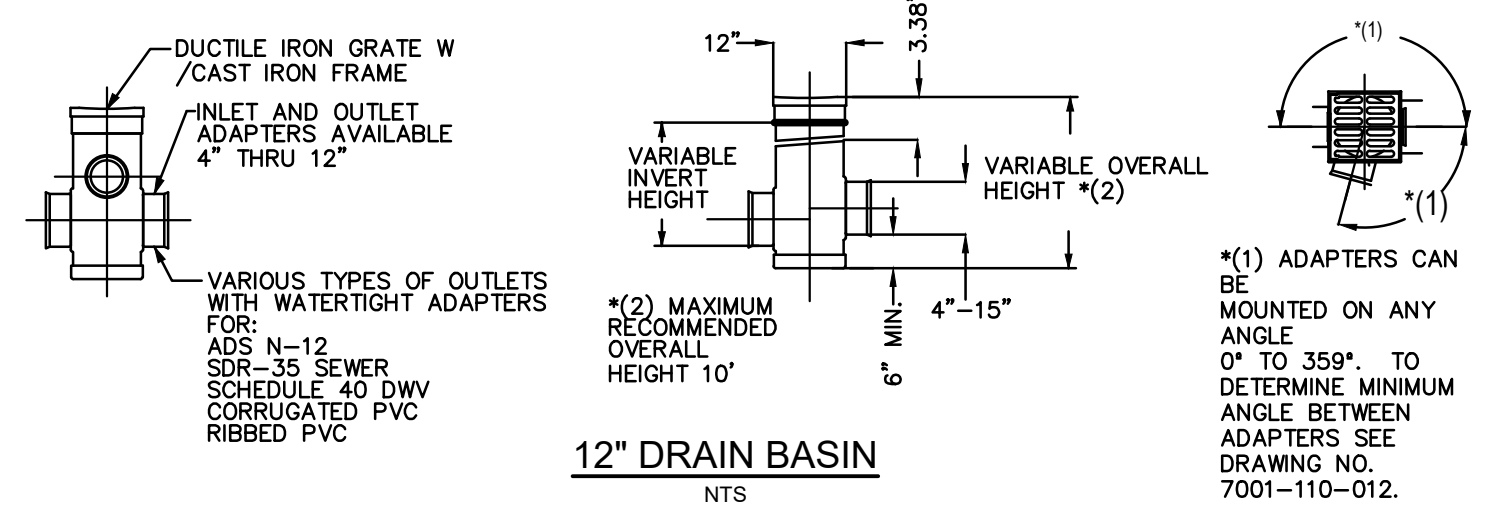
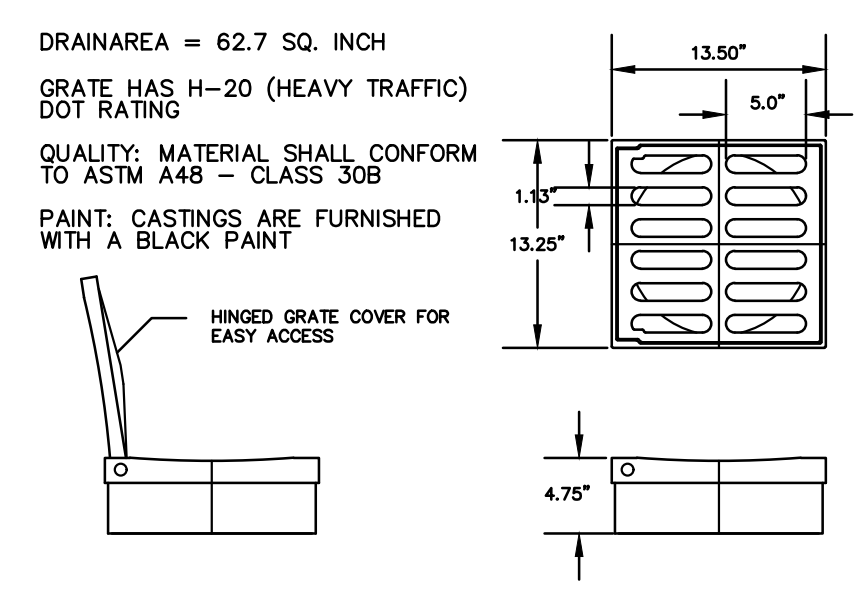
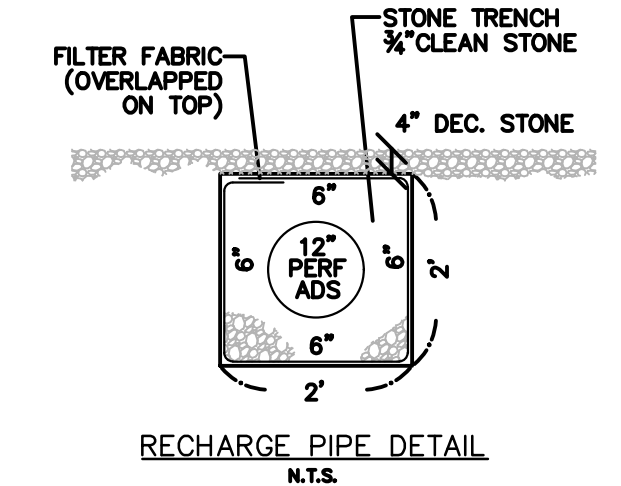
- BOTTOM OF LOWEST HORIZONTAL STRUCTURAL MEMBER FOR DWELLING AND GARAGE AREA TO BE SET AT MIN. ELEVATION 15.0 MIN. (FEMA PRELIMINARY FIRM 14.0 PLUS 1 FOOT OF FREEBOARD TO BOTTOM OF GIRDER).
- THE PROPOSED FINISHED FLOOR LIVING SPACE IS ELEVATION 16.5 FOR OCEAN FRONT AND 16.48 FOR FIRST AVENUE NAVD88.
- ALL AREAS BELOW LOWEST HORIZONTAL GIRDER MIN. (EL. 15.0) SHALL BE NON BEARING BREAKAWAY WALLS IN ACCORDANCE WITH FEMA REQUIREMENTS.
- LOWEST HORIZONTAL STRUCTURAL MEMBER SHALL BE SUPPORTED BY PILINGS DRIVEN TO A TIP ELEVATION OF -10.0 NAVD 88.
- GARAGE SLAB (EL. 6.58) SHALL BE NON STRUCTURAL CONCRETE SLABS, NOT CONNECTED TO SUPPORT PILINGS IN ACCORDANCE WITH V-ZONE FEMA STANDARDS.
- GARAGE DOORS SHALL BE NON BEARING AND BREAKAWAY DESIGN BELOW THE LOWEST HORIZONTAL STRUCTURAL MEMBER MIN. (EL. 15.0).
- LOWER LEVEL BELOW EL. 15.0 SHALL ONLY BE USED FOR STORAGE AND PARKING AND SHALL NOT BE USED FOR HABITABLE SPACE.
- THE PROPOSED GARAGE WILL BE ENCLOSED USING NON BEARING (FEMA APPROVED) BREAKAWAY WALLS.
- ALL DUCT WORK, ELECTRICAL COMPONENTS AND MECHANICALS SERVING THE BUILDING SHALL BE LOCATED ABOVE THE FLOOR OF THE ENCLOSURE AND/OR PIPING FOR THE SUBJECT BUILDING SHALL NOT BE LOCATED ON THE BREAK-AWAY WALLS.
- ALL STAIRWAY SYSTEMS FOR THE SUBJECT BUILDING BELOW THE DFE SHALL BE OF BREAK-AWAY CONSTRUCTION DESIGN AND SHALL BREAK CLEANLY AWAY DURING THE BASE FLOOD EVENT WITHOUT CAUSING DAMAGE TO THE BUILDING OR ITS FOUNDATION. OR THE STAIRWAY SYSTEMS SHALL BE DESIGNED TO RESIST FLOOD LOADS AND REMAIN IN PLACE DURING THE BASE FLOOD EVENT WITH THE ELEVATED BUILDING AND ITS FOUNDATION DESIGNED TO RESIST ANY FLOOD LOADS THAT ARE TRANSFERRED FROM THE STAIRS TO THE BUILDING.
- THE BUILDING AND ANY ASSOCIATED DECKS, WHICH ARE LOCATED IN THE VE FLOOD ZONE, SHALL BE DESIGNED WITH A DEEP FOUNDATION (PILES OR COLUMNS) TO SUPPORT THE STRUCTURE IN THE EVENT OF SCOUR OR EROSION, AND THE BOTTOM OF THE LOWEST HORIZONTAL STRUCTURAL MEMBER FOR THE ELEVATED STRUCTURE, INCLUDING GARAGE, SHALL BE ABOVE THE DFE.

**CAFRA GENERAL NOTES:**

- INDIGENOUS COASTAL PLANTS ARE ENCOURAGED TO BE USED WHEREVER FEASIBLE NO PLASTIC LINERS SHALL BE USED IN LANDSCAPED OR GRAVEL AREAS. ALL LINERS SHALL BE MADE OF FILTER CLOTH OR OTHER PERMEABLE MATERIAL.
- CROWN DRIVEWAY TO PITCH RUNOFF TO DRAIN ONTO PERMEABLE AREAS OF THE SITE OR USE OTHER PERMEABLE STONE.
- PROPOSED SILT FENCE SHALL BE ERRECTED PRIOR TO CONSTRUCTION AND SHALL REMAIN IN PLACE UNTIL ALL CONSTRUCTION AND LANDSCAPING IS COMPLETE.
- ALL CONSTRUCTION SHALL COMPLY WITH FEMA REQUIREMENTS AND FLOOD HAZARD CONTROL ACT REQUIREMENTS.
- FLOOD VENTS SHALL BE INSTALLED IN GARAGE AND LOWER LEVEL IN ACCORDANCE WITH FEMA REQUIREMENTS.

**FLOOD VENTS SHALL MEET THE FOLLOWING:**

- THE INVERT OF EACH FLOOD VENT SHALL BE NO MORE THAN 12 INCHES ABOVE THE ADJOINING EXTERIOR GRADE OR INTERIOR SLAB.
- THE INVERT OF AT LEAST HALF OF THE FLOOD VENTS SHALL BE NO MORE THAN 12 INCHES ABOVE THE FLOOR OF THE BUILDING.
- THE COMBINED EFFECTIVE OPEN AREA OF THE FLOOD VENTS SHALL BE AT LEAST ONE SQUARE INCH PER SQUARE FOOT OF THE AREA OF THE FOOTPRINT OF THE BUILDING, UNLESS A SMALLER FEMA-APPROVED DEVICE WITH AN EQUIVALENT EFFECTIVE AREA IS UTILIZED; AND
- THE FLOOD VENTS SHALL NOT BE BLOCKED AT ANY TIME, BUT SHALL PERMANENTLY REMAIN OPEN SO THAT THE FLOODWATERS CAN FREELY ENTER THE BUILDING TO BALANCE HYDROSTATIC PRESSURE DURING A FLOOD.
- NO FLOOD VENT SHALL BE PLACED CLOSER THAN 3 FEET TO A GAS METER OR GAS CONSUMING APPLIANCE.
- SEE ARCHITECTURAL PLANS FOR FLOOD VENT DETAILS AND MODEL.
- FLOOD VENTS TO BE PROVIDED FOR ALL ENCLOSED AREAS OF THE LOWER LEVEL ON THE BASIS OF 1 SQ. IN. OF VENTING PER SQ. FT. OF ENCLOSURE.



2	8/31/21	REVISED LOCATION OF MECH. PLATFORM & EXTERIOR SHOWER / REVISED RETAINING WALL	JAR
1	3/31/21	REVISED PER ARCHITECT REVISIONS	JAR
NO.	DATE	REVISION DESCRIPTION	BY

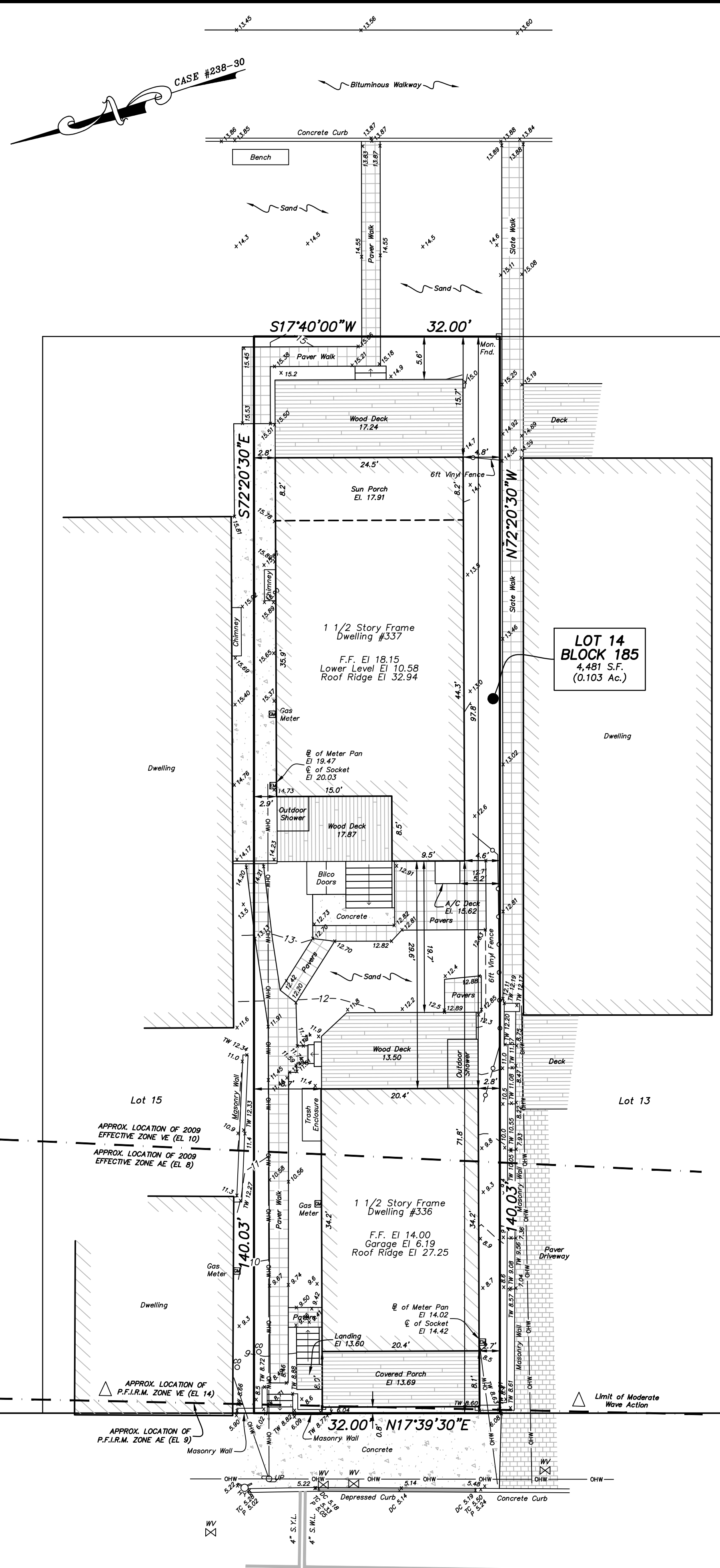
**Lindstrom, Diessner & Carr, P.C.**  
 ENGINEERING ♦ SURVEYING ♦ PLANNING  
 136 Drum Point Road • Suite 6 • Brick, NJ 08723 • Tel. (732)477-8900 • Fax. (732)477-8026

**PLOT PLAN**  
 LOT 14 BLOCK 185

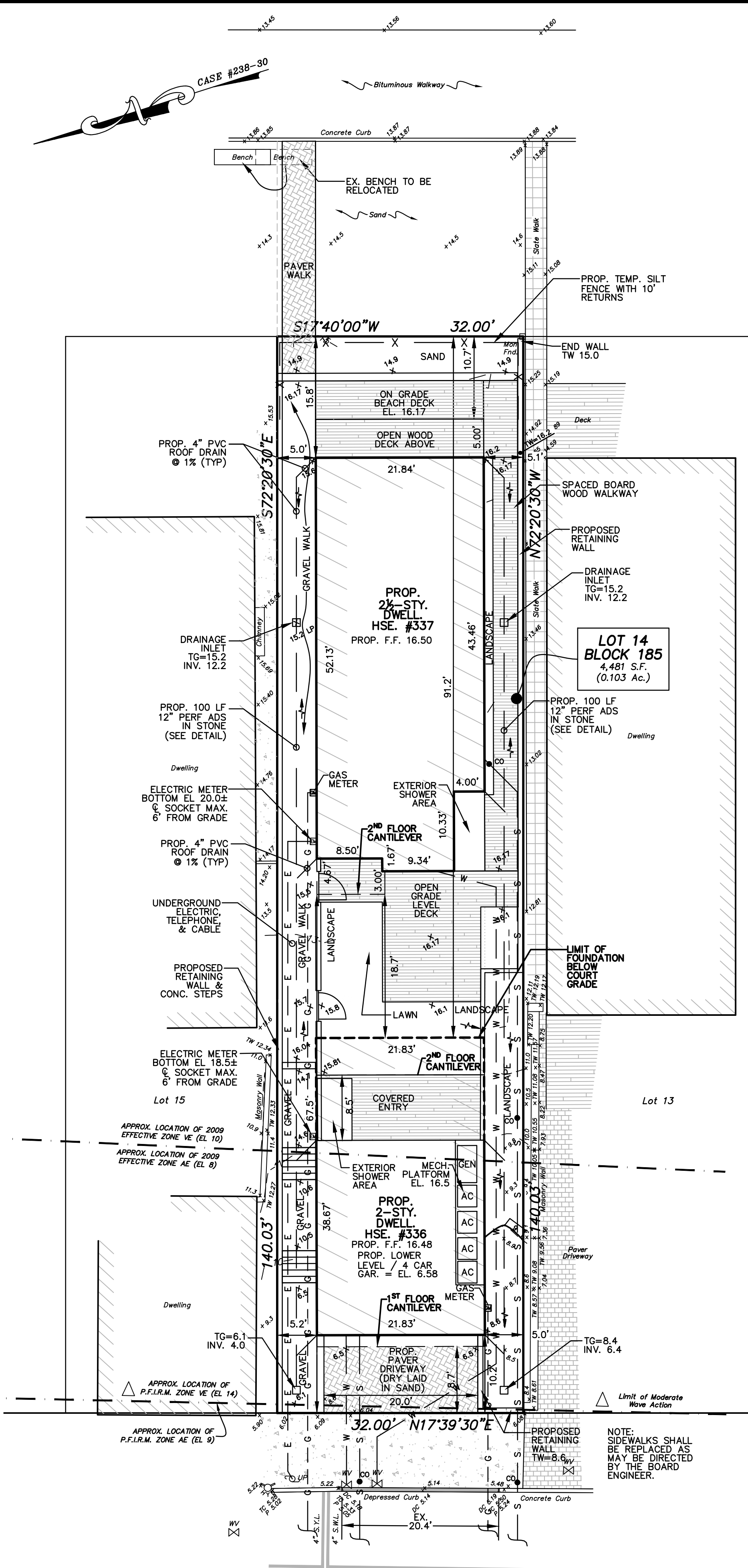
BOROUGH OF MANASQUAN MONMOUTH COUNTY NEW JERSEY

CHARLES E. LINDSTROM  
 PROFESSIONAL ENGINEER N.J. LIC. NO. 246E02473900  
 PROFESSIONAL PLANNER N.J. LIC. NO. 33U00233300

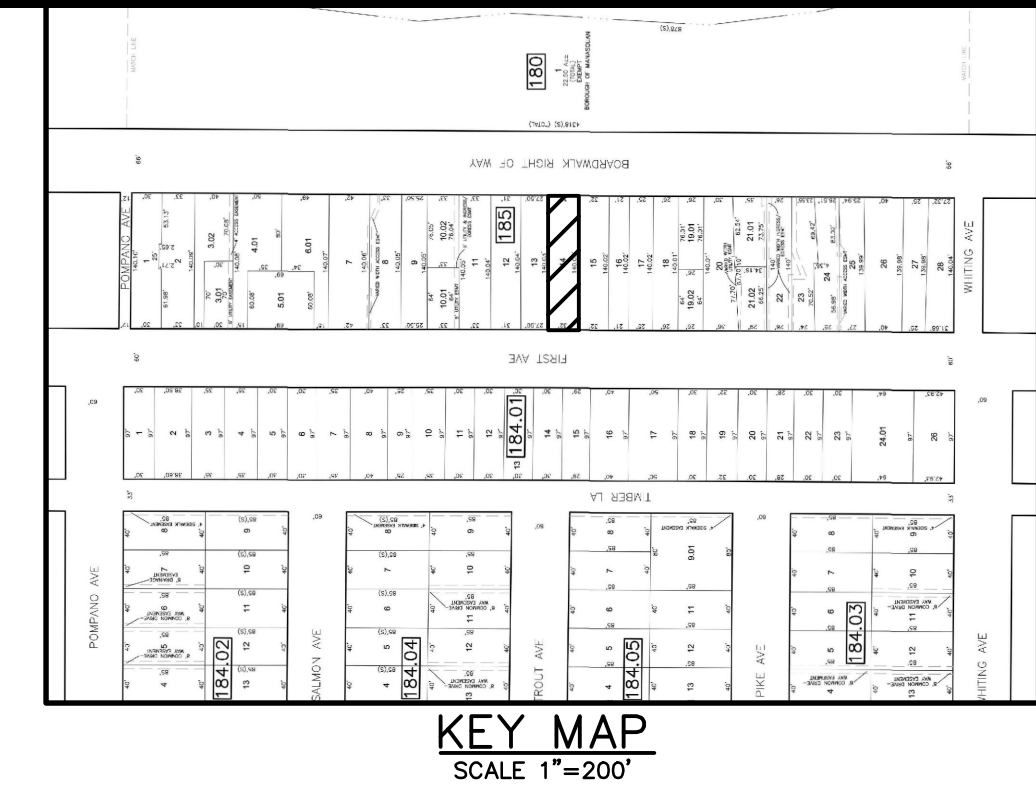
DRAWN BY: JAR SCALE: 1"=20' DATE: 12/31/2020 SHEET: 2 OF 2 PROJECT: 20075



**EXISTING CONDITIONS PLAN**  
SCALE 1"=10'



**PROPOSED DEVELOPMENT PLAN**  
SCALE 1"=10'



**KEY MAP**  
SCALE 1"=200'



**AERIAL MAP**  
N.T.S.

**GENERAL NOTES:**

1. SURVEY AND TOPOGRAPHY TAKEN FROM A PLAN ENTITLED "TOPOGRAPHIC SURVEY LOT 14 BLOCK 185 BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY." PREPARED BY LINDSTROM, DIESSNER AND CARR P.C. DATED 7/20/2020. WILLIAM H. DOOLITTLE P.L.S. FOR JANET & SCOTT CINFIO.
2. ELEVATIONS BASED ON NAVD 1988 DATUM AND GPS RTK OBSERVATIONS.
3. PROPERTY LOCATED IN FLOOD ZONES AE (EL 8) & VE (EL 10). COMMUNITY NUMBER 345303 MAP NUMBER 3402500456F, EFFECTIVE DATE SEPTEMBER 25, 2009. PROPERTY LOCATED IN FLOOD ZONES AE (EL 9) & VE (EL 14) LIMWA, BASED ON FEMA PRELIMINARY FLOOD INSURANCE RATE MAPS REVISED JANUARY 31, 2014.
4. UTILITIES ARE EXISTING AND SHALL REMAIN AND BE RECONNECTED TO PROPOSED DWELLING IN ACCORDANCE WITH APPLICABLE BUILDING CODES AND UTILITY COMPANY REQUIREMENTS. LOCATION OF EX. UTILITIES IS APPROXIMATE AND MUST BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION/EXCAVATION.
5. FOR COMPLETE BUILDING DIMENSIONS AND INFORMATION SEE ARCHITECTURAL PLANS.
6. THERE ARE NO WETLANDS ON SITE.
7. THERE IS NO BELOW GRADE BASEMENT PROPOSED.
8. A FLOOR WITH A FLOOR THAT IS NOT 1 FOOT ABOVE THE BFE IS NOT PERMITTED.
9. ANY AND ALL IMPORTED EARTHEN MATERIAL SHALL BE CERTIFIED CLEAN.
10. ALL UTILITIES SHALL BE INSTALLED UNDERGROUND AND EACH DWELLING SHALL HAVE SEPARATE UTILITIES.

**OWNER/APPLICANT:**  
JANET & SCOTT CINFIO  
NJDMD, LLC  
217 HORSEBACK HOLLOW  
AUSTIN, TX 78732

**PROPERTY IS LOCATED IN THE R-4 DISTRICT**

**FIRST AVENUE HOUSE #336**

DESCRIPTION	REQUIRED	EXISTING	PROPOSED
FRONT SETBACK	10 FT.	0.8 FT.**	8.7 FT.**
SIDE SETBACK NORTH	5 FT.	8.7 FT.**	5.0 FT.
SIDE SETBACK SOUTH	5 FT.	3.7 FT.**	5.0 FT.
REAR SETBACK	15 FT.	97.8 FT.	91.2 FT.
DIST. TO BLDG.	35 FT.	29.6 FT.*	18.7 FT.**
MAX. HEIGHT <sup>(1)</sup>	33 FT.	21.77 FT.	31.79 FT.
	2 Sty		2 Sty

VARIANCE REQUESTED FOR STANDBY GENERATOR IN SIDE YARD (SECT. 35-11.8)

**OCEAN FRONT HOUSE #337**

DESCRIPTION	REQUIRED	EXISTING	PROPOSED
FRONT SETBACK	10 FT.	15.7 FT.	15.8 FT. DWELL; 10.7 FT. DECK**
SIDE SETBACK NORTH	5 FT.	2.8 FT.*	5.0 FT.
SIDE SETBACK SOUTH	5 FT.	4.6 FT.	5.1 FT.
REAR SETBACK	15 FT.	71.8 FT.	67.5 FT.
DIST. TO BLDG.	35 FT.	29.6 FT.*	18.7 FT.**
MAX. HEIGHT <sup>(2)</sup>	33 FT.	19.07 FT.	32.58 FT.
	2 1/2 Sty	1 1/2 Sty	2 1/2 Sty

\* EXISTING NON-CONFORMING  
\*\* VARIANCE REQUESTED

<sup>(1)</sup> MEASURED FROM TC OF FIRST AVENUE 5.48  
<sup>(2)</sup> MEASURED FROM TC 13.87 AT THE BOARDWALK

**PROPERTY IS LOCATED IN THE R-4 DISTRICT**

**TOTAL LOT ZONING CRITERIA**

DESCRIPTION	REQUIRED	EXISTING	PROPOSED
MIN LOT SIZE	4,200 S.F.	4,481 S.F.	4,481 S.F.
LOT FRONTAGE	30 FT.	32.0 FT.	32.0 FT.
LOT WIDTH	30 FT.	32.0 FT.	32.0 FT.
BUILDING COVERAGE	35%	45.4%*	46.4%**
LOT COVERAGE	50%	73.8%*	51.1%**

\* EXISTING NON-CONFORMING  
\*\* VARIANCE REQUESTED  
VARIANCE REQUESTED FOR DRIVEWAY CURB CUT (SECT 35-7.7c)  
REQUIRED 20 FEET MAX - EXISTING 20.4 FT. AT CURB LINE \*\*  
DRIVEWAY WIDTH 20' PROP.

**LEGEND:**

- 47- EXISTING CONTOUR
- 48- PROPOSED CONTOUR
- 49- EXISTING SPOT GRADE
- 50- PROPOSED SPOT GRADE
- 51- EXISTING INLET
- 52- PROPOSED INLET
- 53- EXISTING FIRE HYDRANT
- 54- PROPOSED FIRE HYDRANT
- 55- EXISTING M.H.
- 56- PROPOSED M.H.
- 57- EXISTING UTILITY POLE
- 58- PROPOSED UTILITY POLE
- 59- SOIL BORING LOCATION
- 60- EXISTING VALVE
- 61- PROPOSED VALVE
- 62- EXISTING WOODS LINE
- 63- PROPOSED WOODS LINE
- 64- TOB TOP OF BLOCK

NO.	DATE	REVISION DESCRIPTION	BY
3	8/31/21	REVISED LOCATION OF MECH. PLATFORM & EXTERIOR SHOWER / REVISED RETAINING WALL	JAR
2	6/3/21	REVISED PER ZONING OFFICER DENIAL LETTER 5/27/21	JAR
1	3/31/21	REVISED PER ARCHITECT REVISIONS	JAR

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**PLOT PLAN**  
LOT 14 BLOCK 185

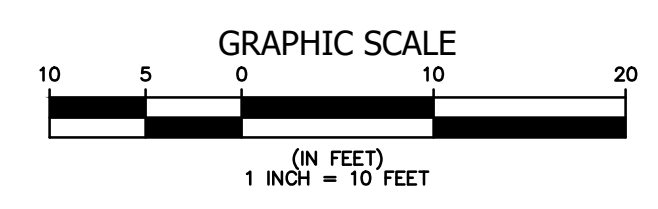
**CHARLES E. LINDSTROM**  
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BOROUGH OF MANASQUAN	MONMOUTH COUNTY	NEW JERSEY
DRAWN BY: JAR	SCALE: 1"=20'	DATE: 12/31/2020
SHEET: 1 OF 2	PROJECT: 20075	

**REFERENCES USED:**  
- FILED MAP, CASE #238-30  
- DEED BOOK 9358, PAGE 2093

**PROPERTY DESCRIPTION:**  
BEING KNOWN AS LOT 14 IN BLOCK 185 AS SHOWN ON A MAP ENTITLED "FINAL MAP OF BLOCK 185, LANDS OF AMERICAN TIMBER COMPANY, BOROUGH OF MANASQUAN, MONMOUTH COUNTY, N.J." FILED IN THE OFFICE OF THE MONMOUTH COUNTY CLERK ON NOVEMBER 9, 1990 AS MAP CASE #238-30.

ALSO BEING KNOWN AS LOT 14 IN BLOCK 185 ON THE OFFICIAL TAX MAP SHEET 31 OF BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY.



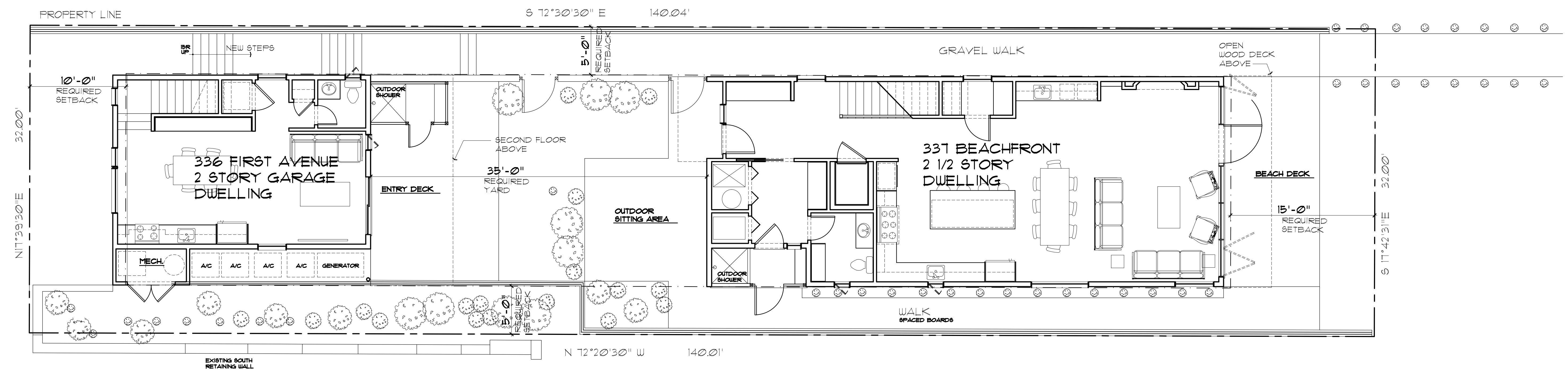
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project number  
**2012**

**Site Plan Legend:**

— PROPERTY LINE  
- - - SETBACK LINE

Plan North:	True North:

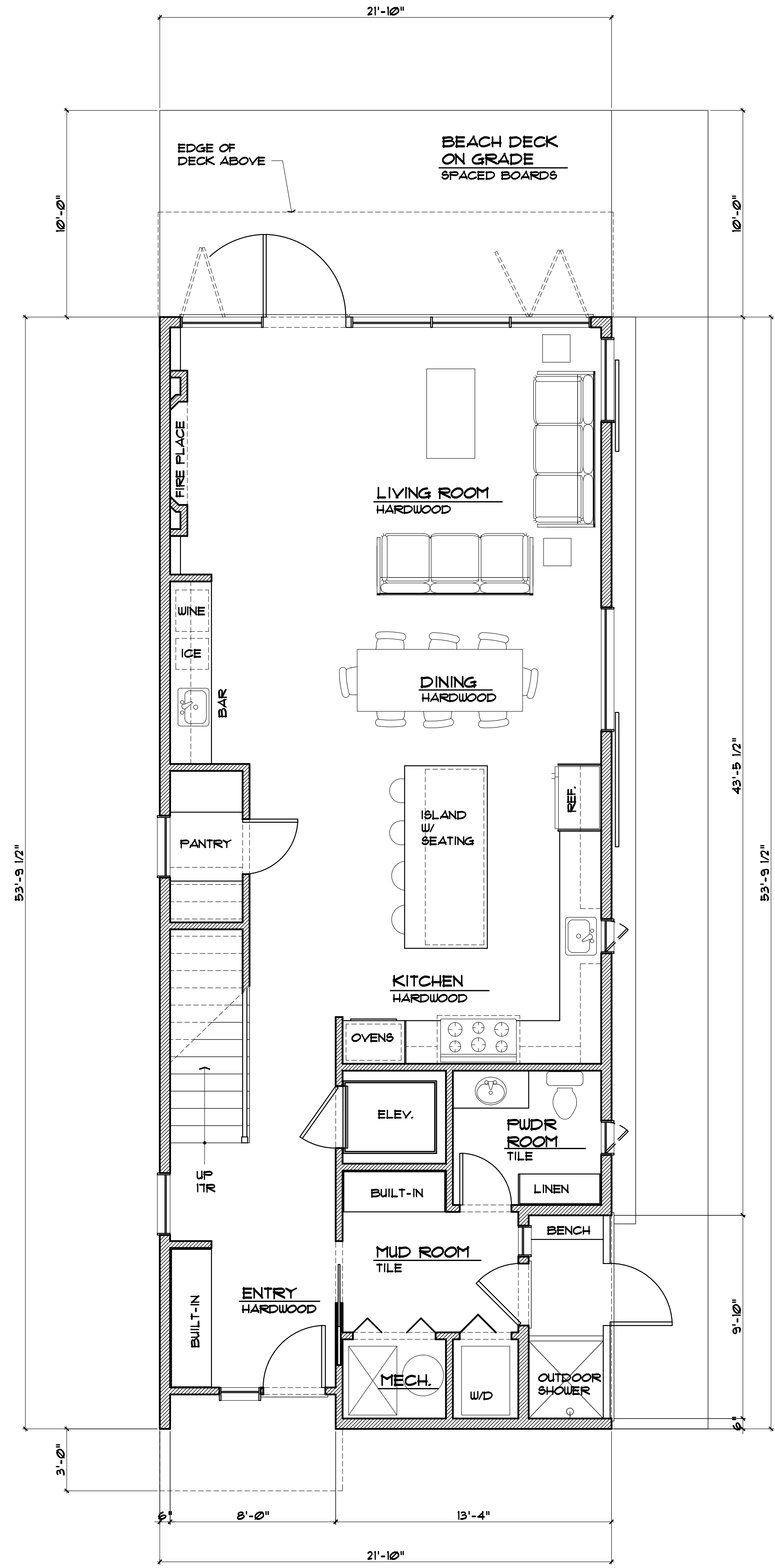


Site Plan  
SCALE: 3/16" = 1'-0"

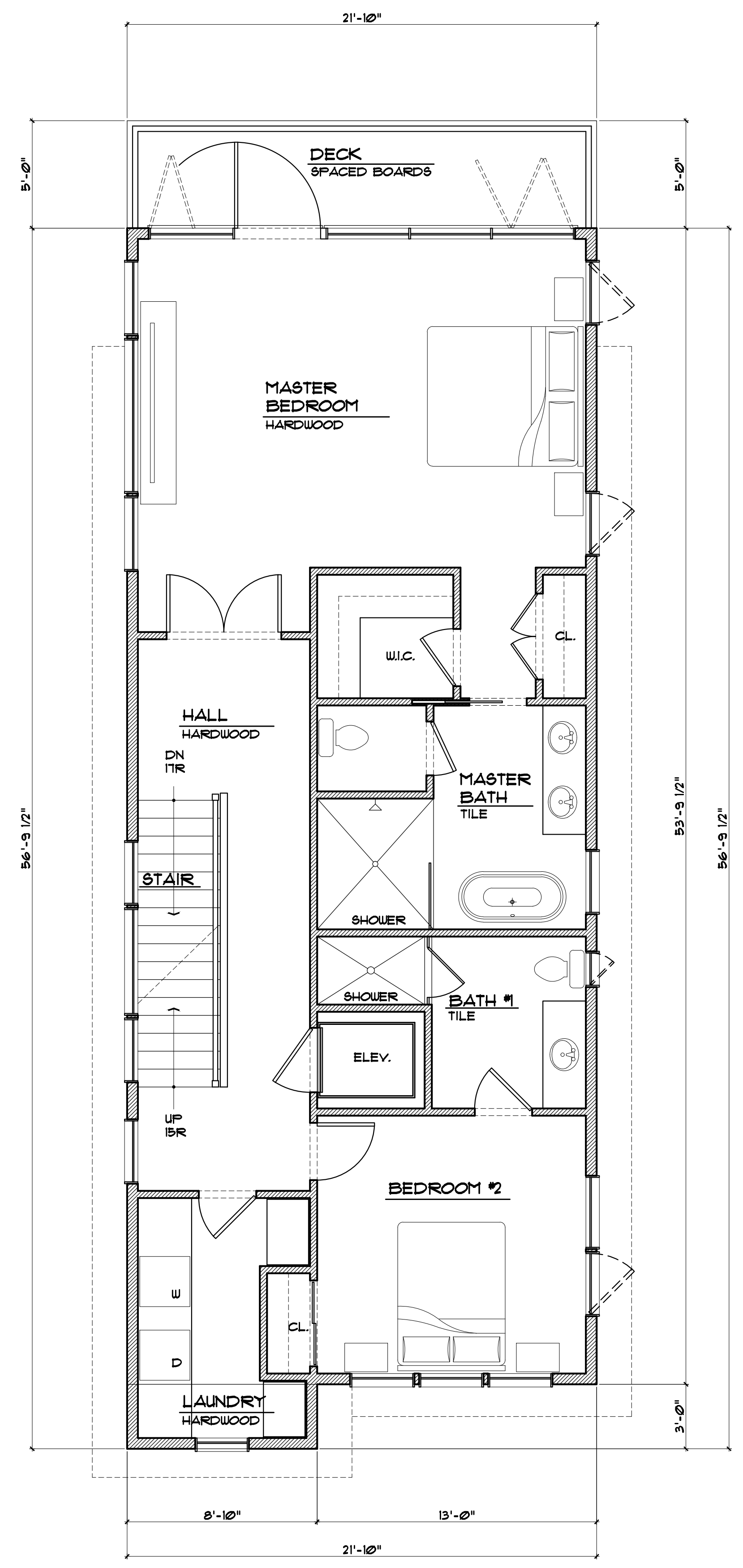
CONCRETE CURB

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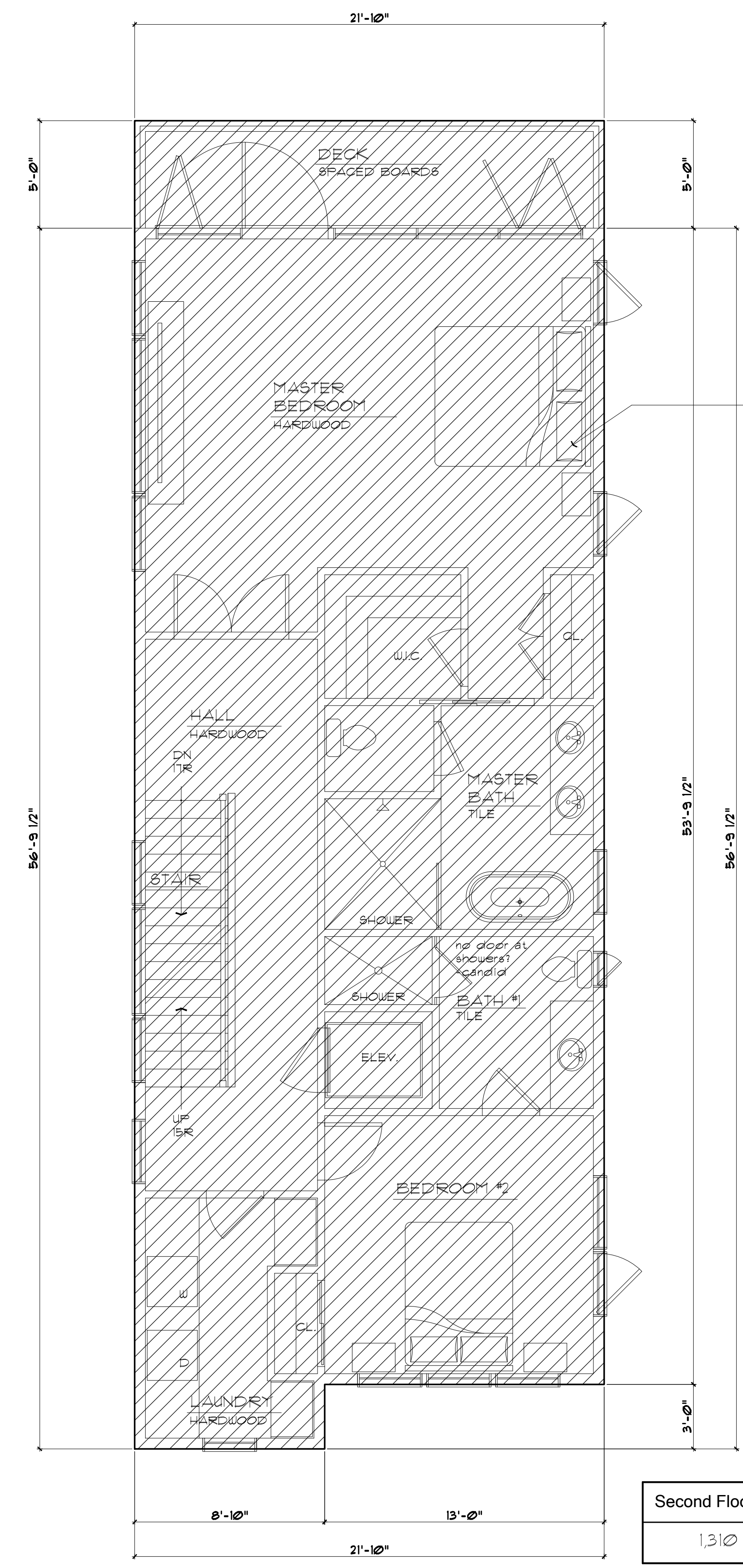
project number  
**2012**



1  
2  
337 Beachfront  
First Floor Plan  
SCALE: 1/4" = 1'-0"



2  
2  
337 Beachfront  
Second Floor Plan  
SCALE: 1/4" = 1'-0"



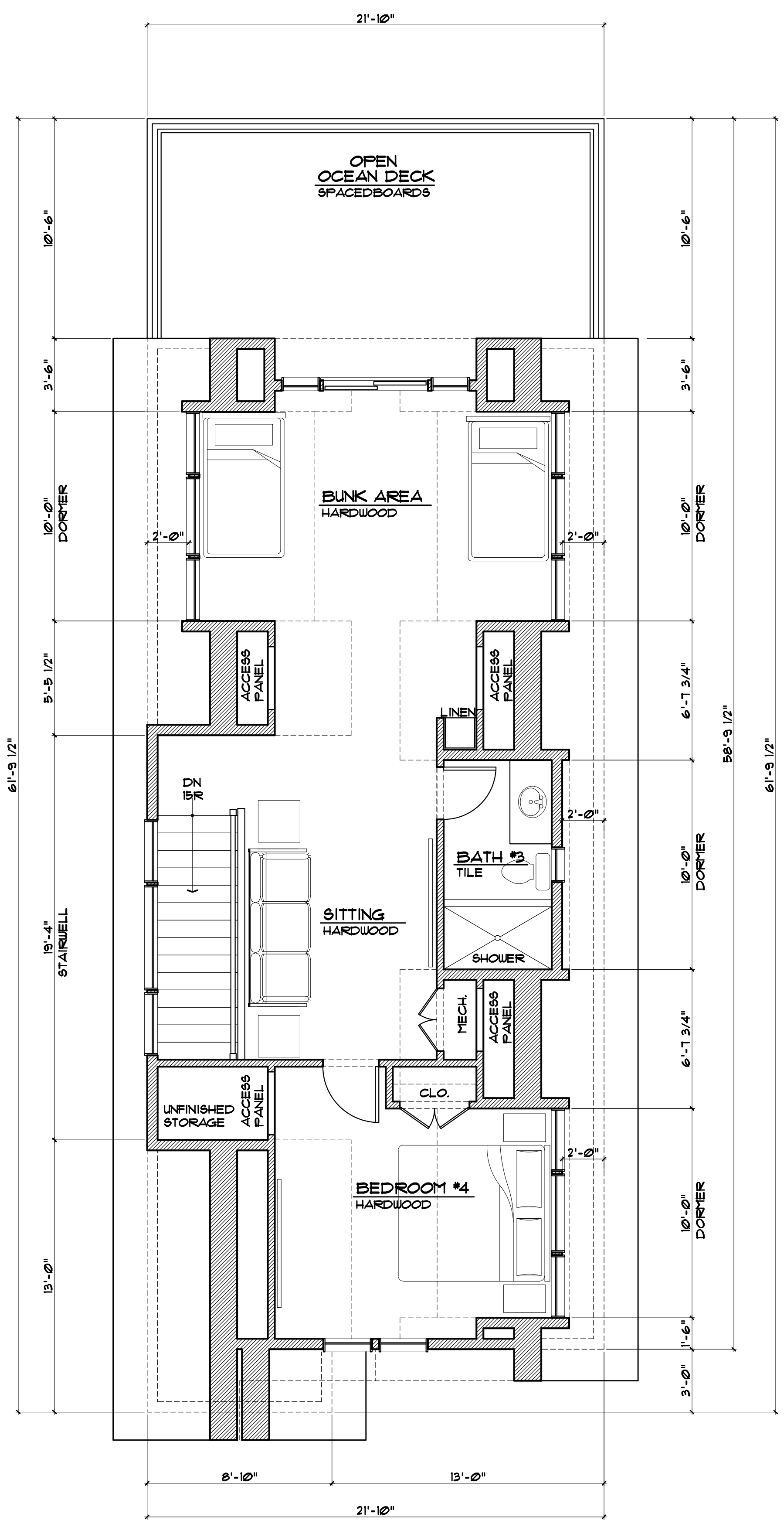
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2  
337 Beachfront  
Second Floor Plan Area Diagram  
SCALE: 1/4" = 1'-0"

Second Floor Area:  
1,310 S.F.

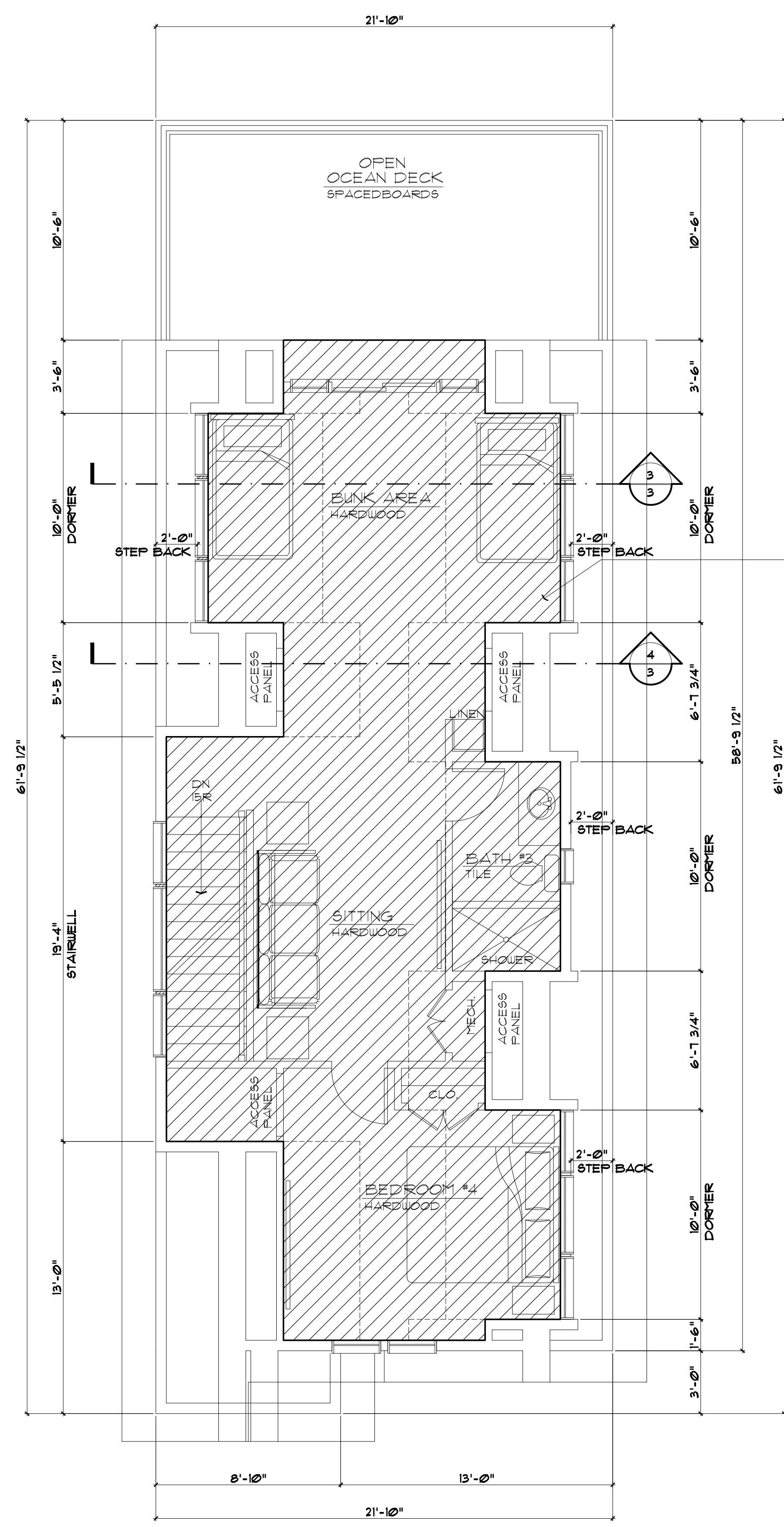
SECOND FLOOR AREA INCLUSIVE OF COVERED PORCH

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project number  
**2012**



**1**  
**3**  
337 Beachfront  
Finished Attic Floor Plan  
SCALE: 1/4" = 1'-0"



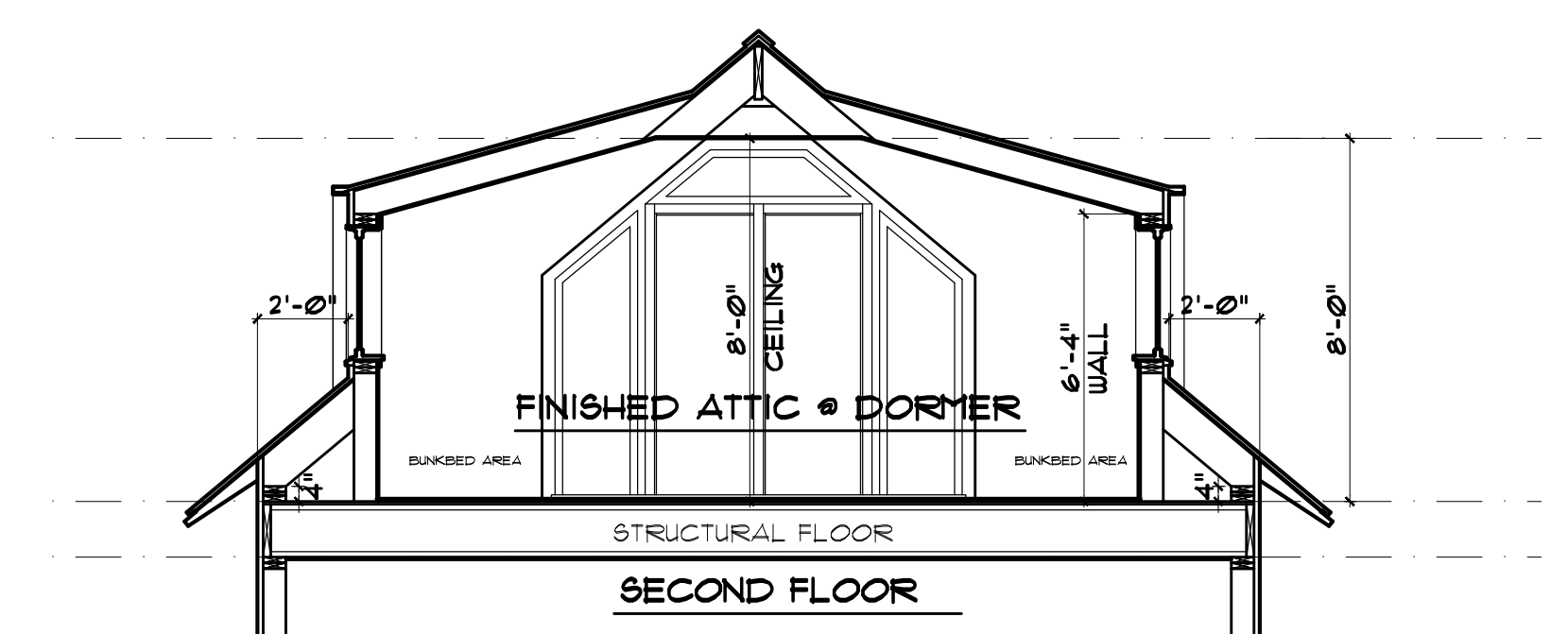
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337 Beachfront  
Finished Attic Floor Plan Showing  
Area of Five Feet or Greater Headroom  
SCALE: 1/4" = 1'-0"

**Half Story Calculation**

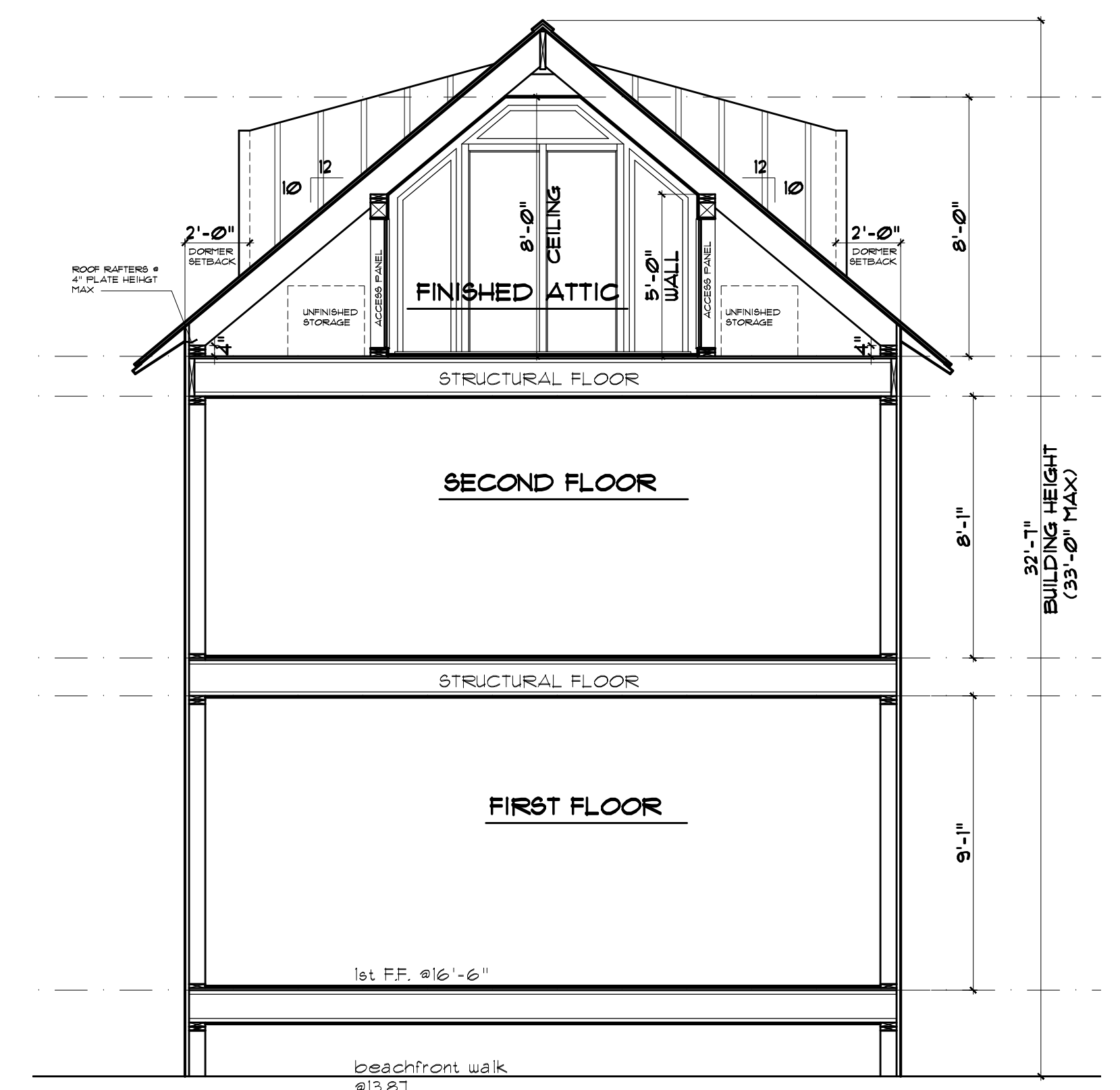
713 S.F.

THE FINISHED AREA OF THE ATTIC WHERE THE INTERSECTION OF THE ROOF RAFTERS AND THE EXTERIOR WALL OCCURS WITHIN FOUR INCHES OF THE FLOOR/CEILING SYSTEM, AND IN WHICH SPACE THE MAXIMUM FLOOR AREA AT A CEILING HEIGHT OF FIVE FEET OR MORE, INCLUSIVE OF STAIRWELLS AND ROOFED OVER PORCHES (713 S.F.) OCCUPIES 54.4% OF THE SQUARE FOOTAGE DIRECTLY BELOW (1310 S.F.) INCLUSIVE OF ROOFED OVER PORCHES. 60% IS THE MAXIMUM ALLOWABLE.

HATCH REPRESENTS THE FINISHED AREA OF ATTIC IN WHICH THERE IS A CEILING HEIGHT OF FIVE FEET OR MORE, INCLUSIVE OF STAIRWELLS AND ROOFED OVER PORCHES



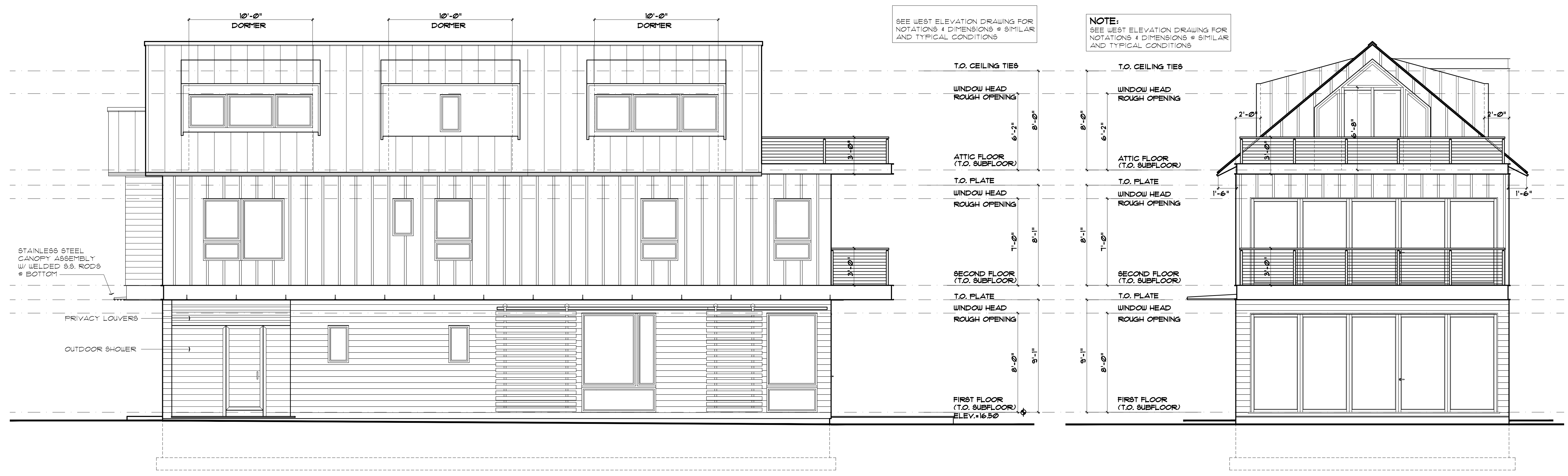
**3**  
**3**  
337 Beachfront  
Section @ Garret Dormer  
SCALE: 1/4" = 1'-0"



**4**  
**3**  
337 Beachfront  
Building Section  
SCALE: 1/4" = 1'-0"

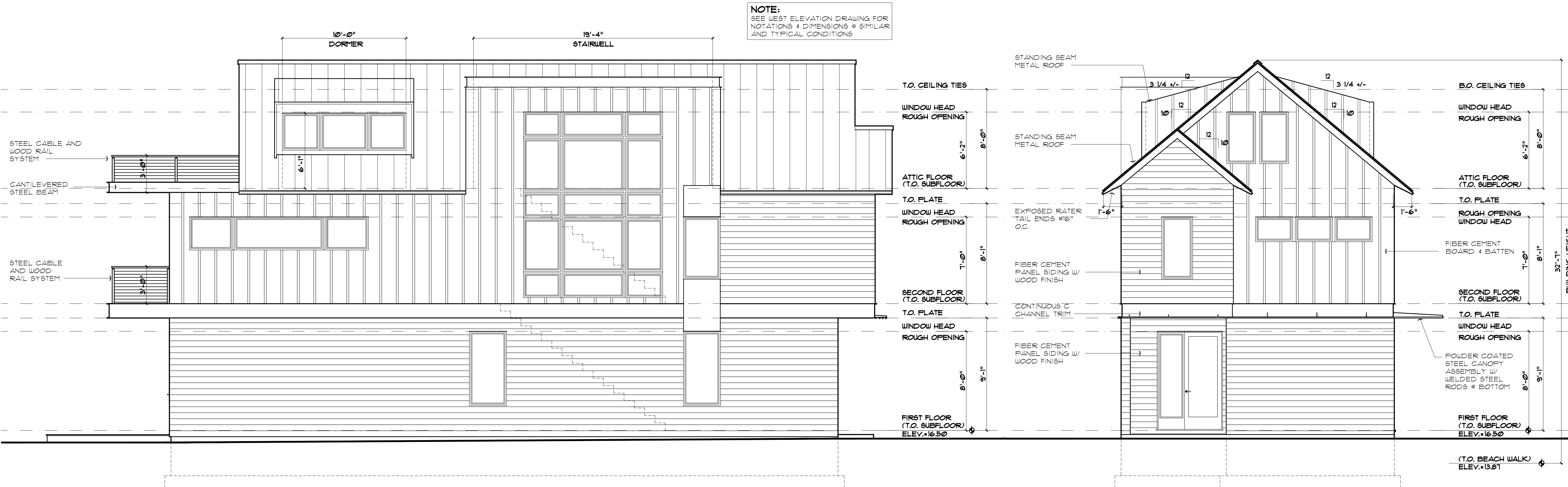
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project number  
2012



337 Beachfront  
South Elevation  
SCALE: 1/4" = 1'-0"

337 Beachfront  
East Elevation  
SCALE: 1/4" = 1'-0"

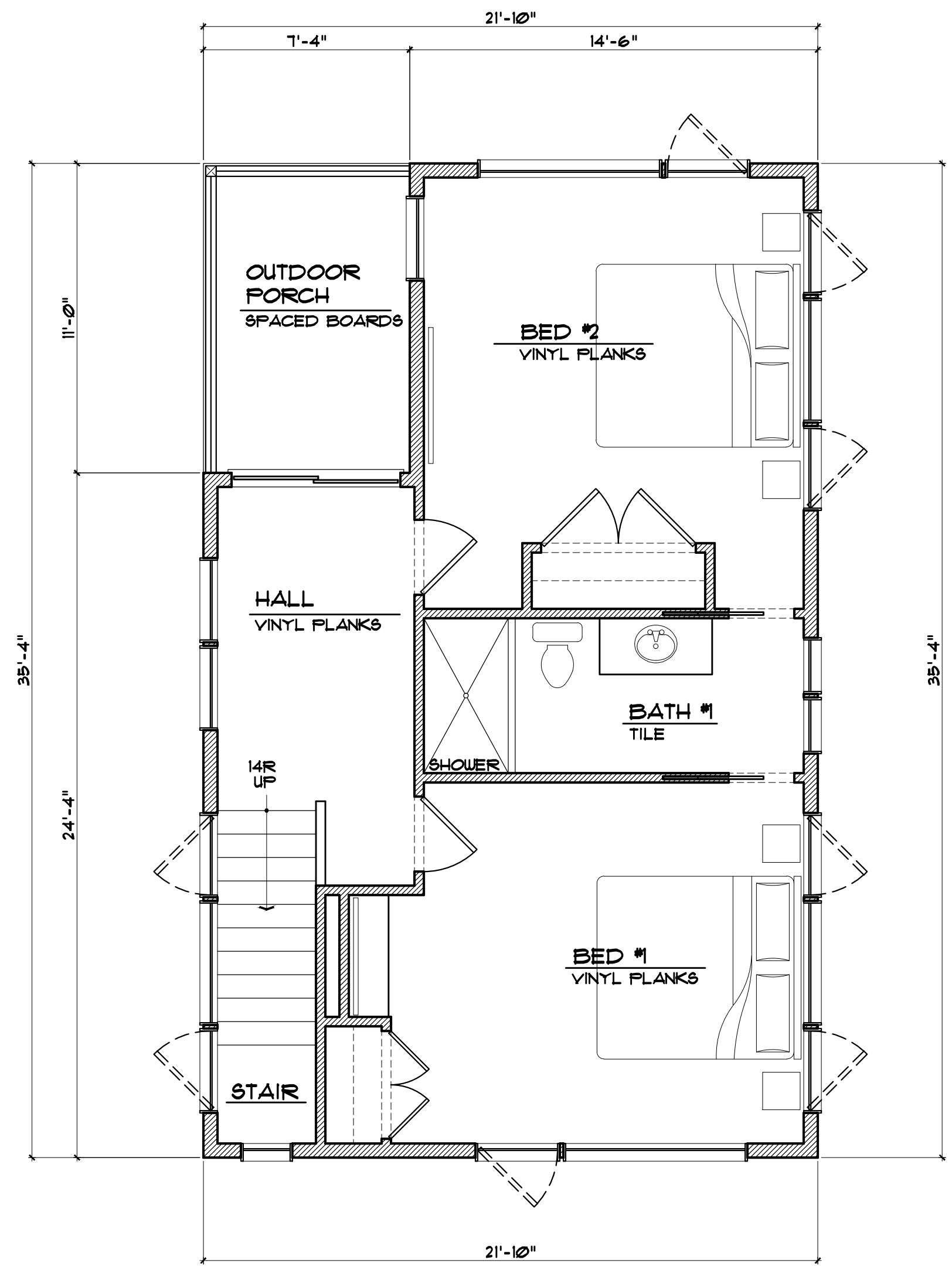


337 Beachfront  
North Elevation  
SCALE: 1/4" = 1'-0"

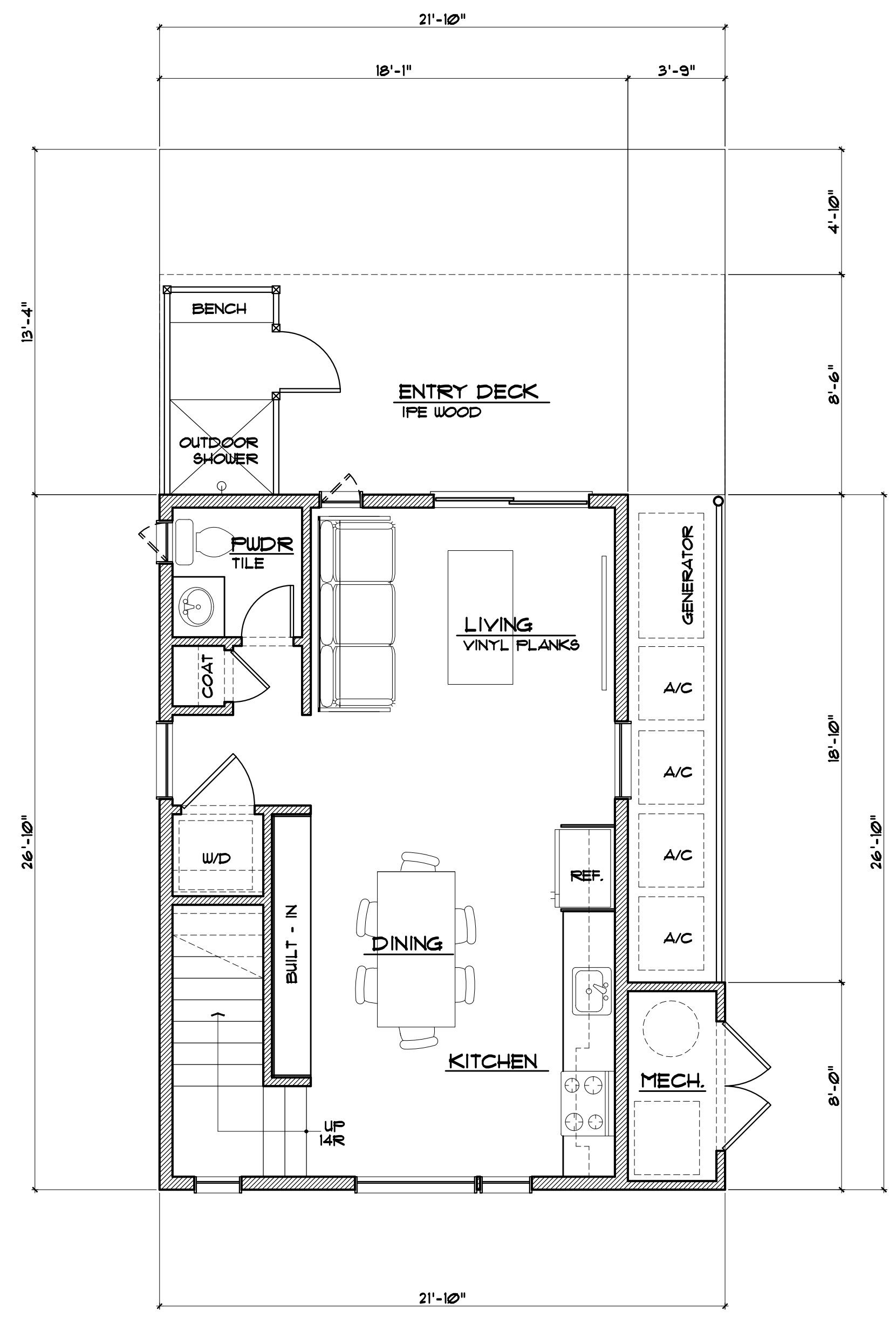
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West Elevation  
SCALE: 1/4" = 1'-0"

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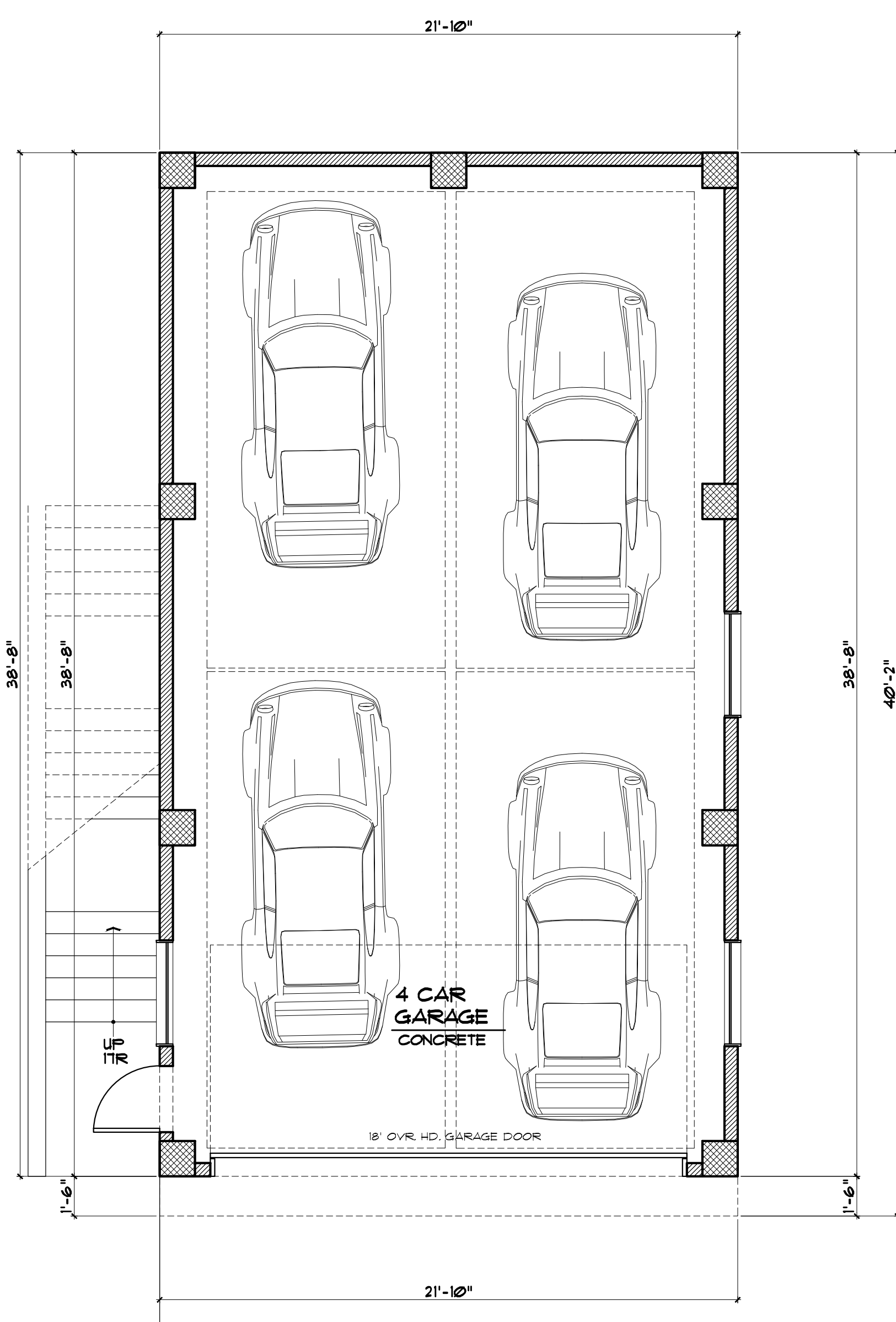
project number  
**2012**



336 First Avenue  
Second Floor Plan  
SCALE: 1/4" = 1'-0"



336 First Avenue  
First Floor Plan  
SCALE: 1/4" = 1'-0"

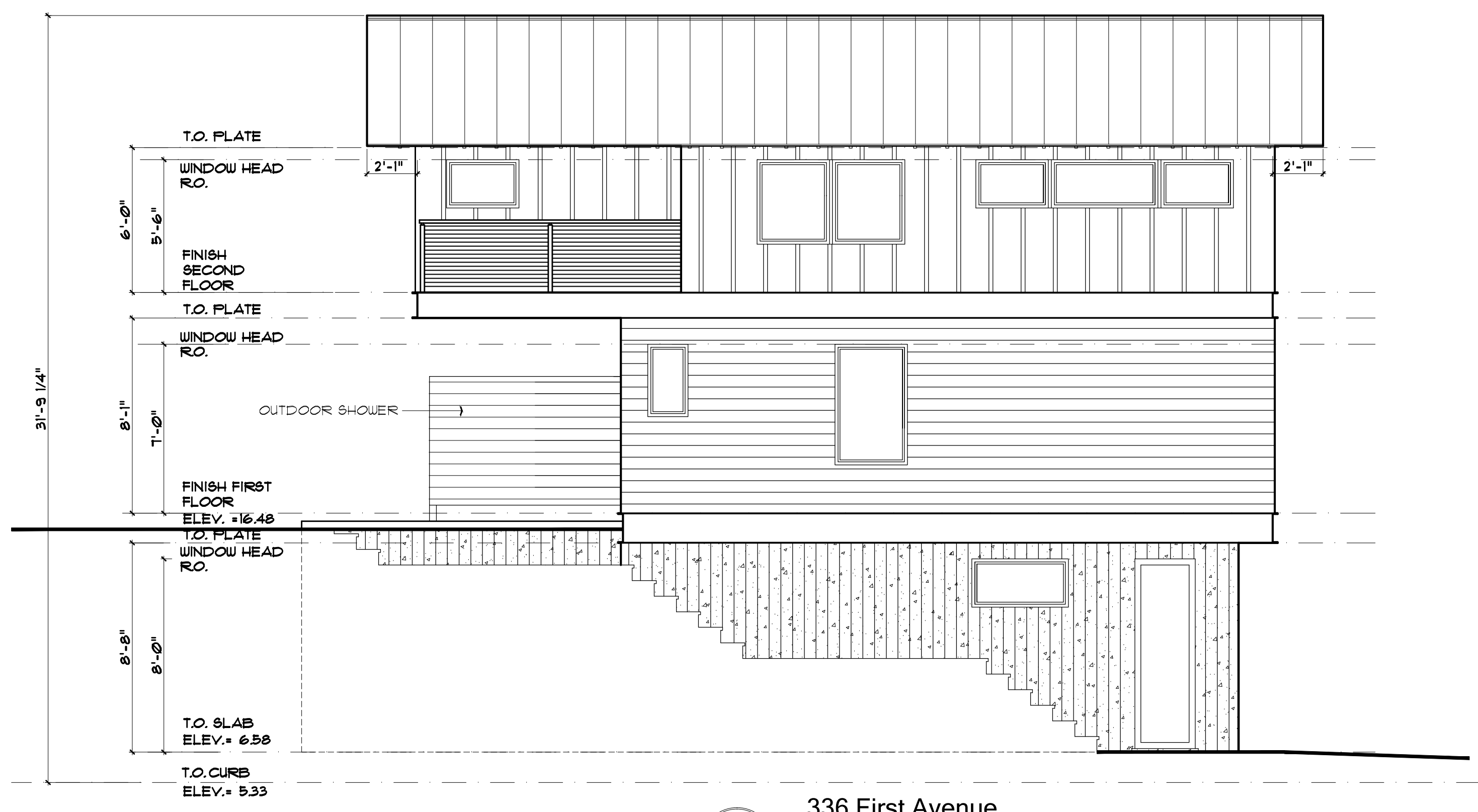


336 First Avenue  
Grade Level Plan  
SCALE: 1/4" = 1'-0"

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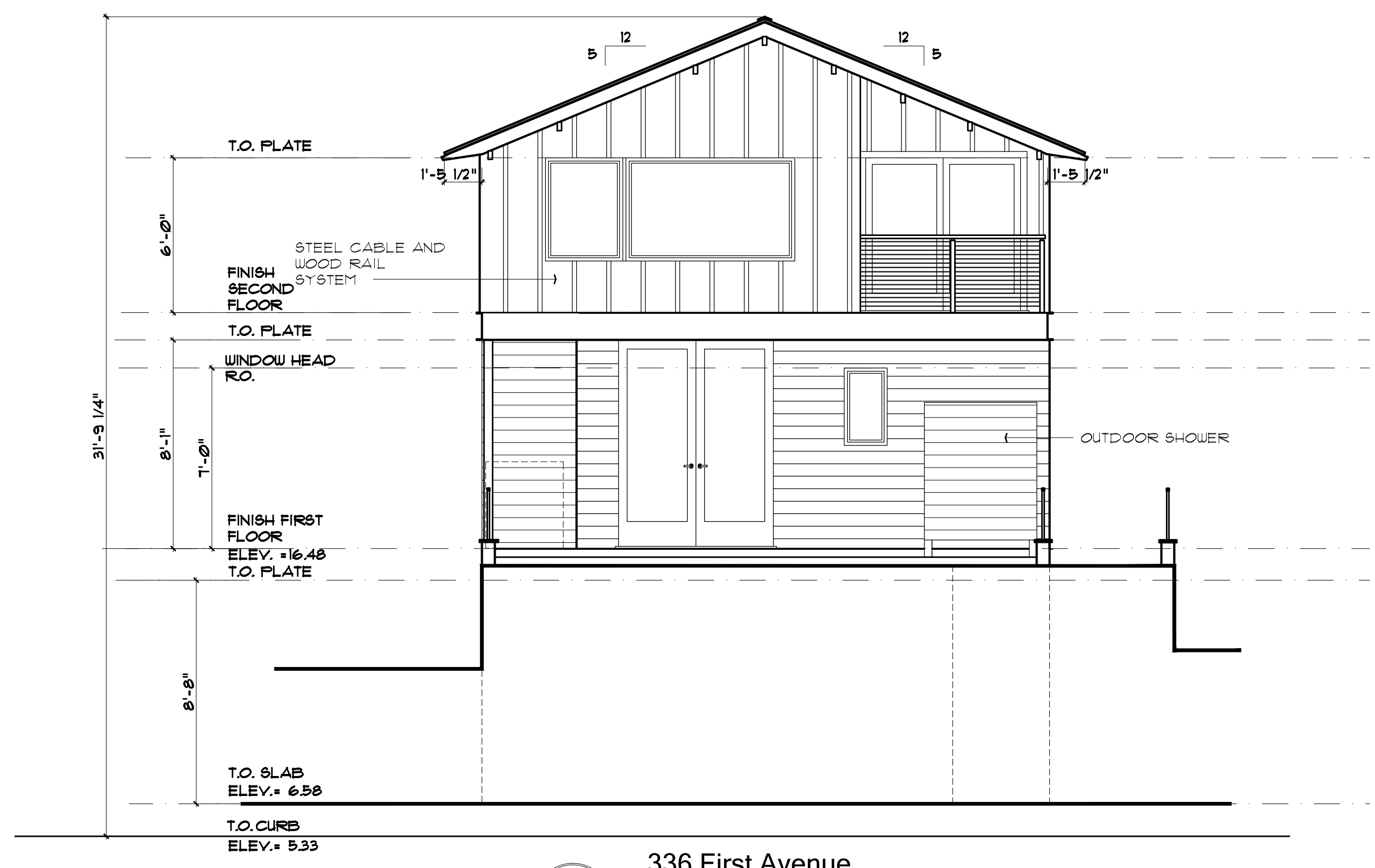
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2012

NOTE:  
SEE WEST ELEVATION DRAWING FOR NOTATIONS & DIMENSIONS @ SIMILAR AND TYPICAL CONDITIONS



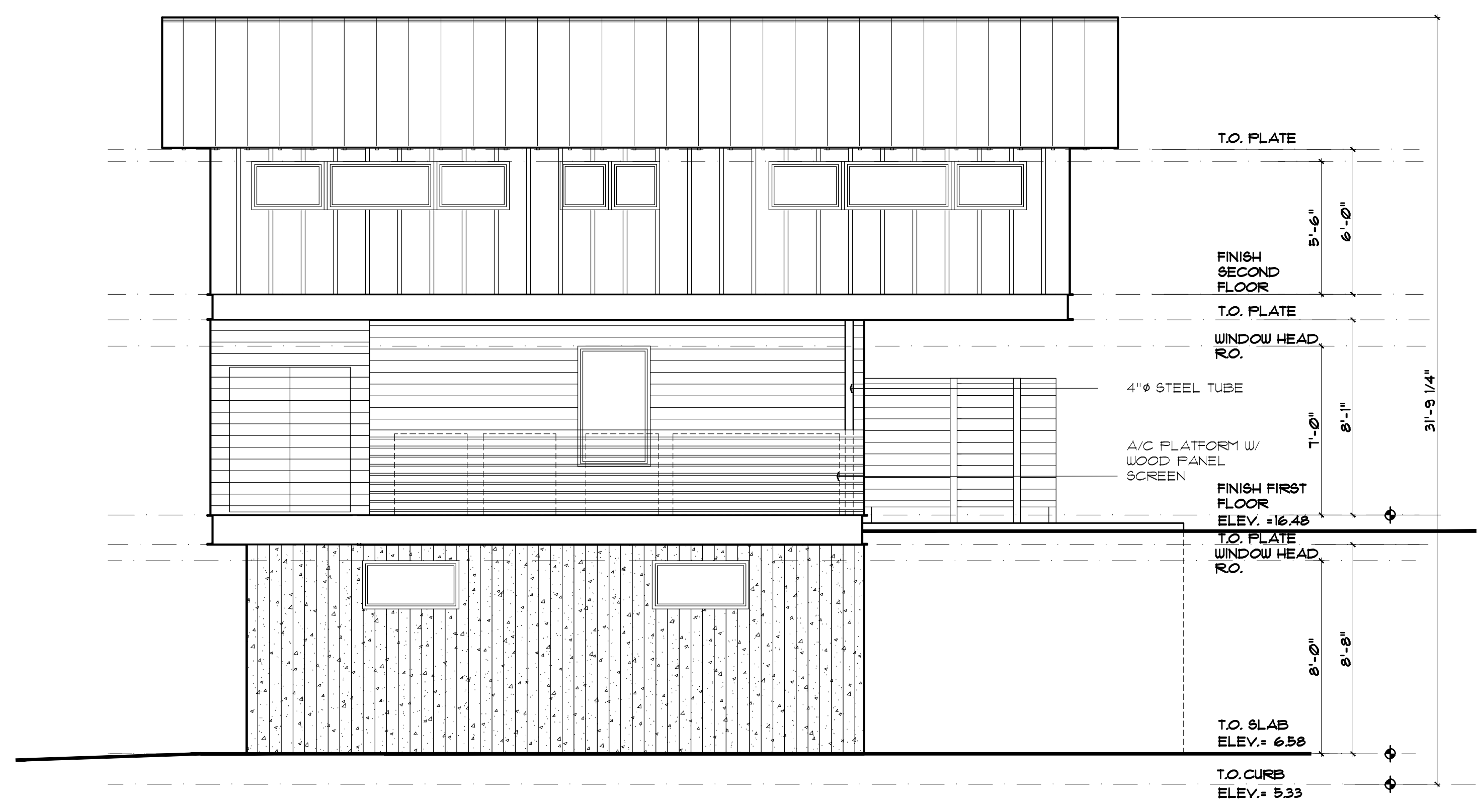
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North Elevation  
SCALE: 1/4" = 1'-0"

NOTE:  
SEE WEST ELEVATION DRAWING FOR NOTATIONS & DIMENSIONS @ SIMILAR AND TYPICAL CONDITIONS



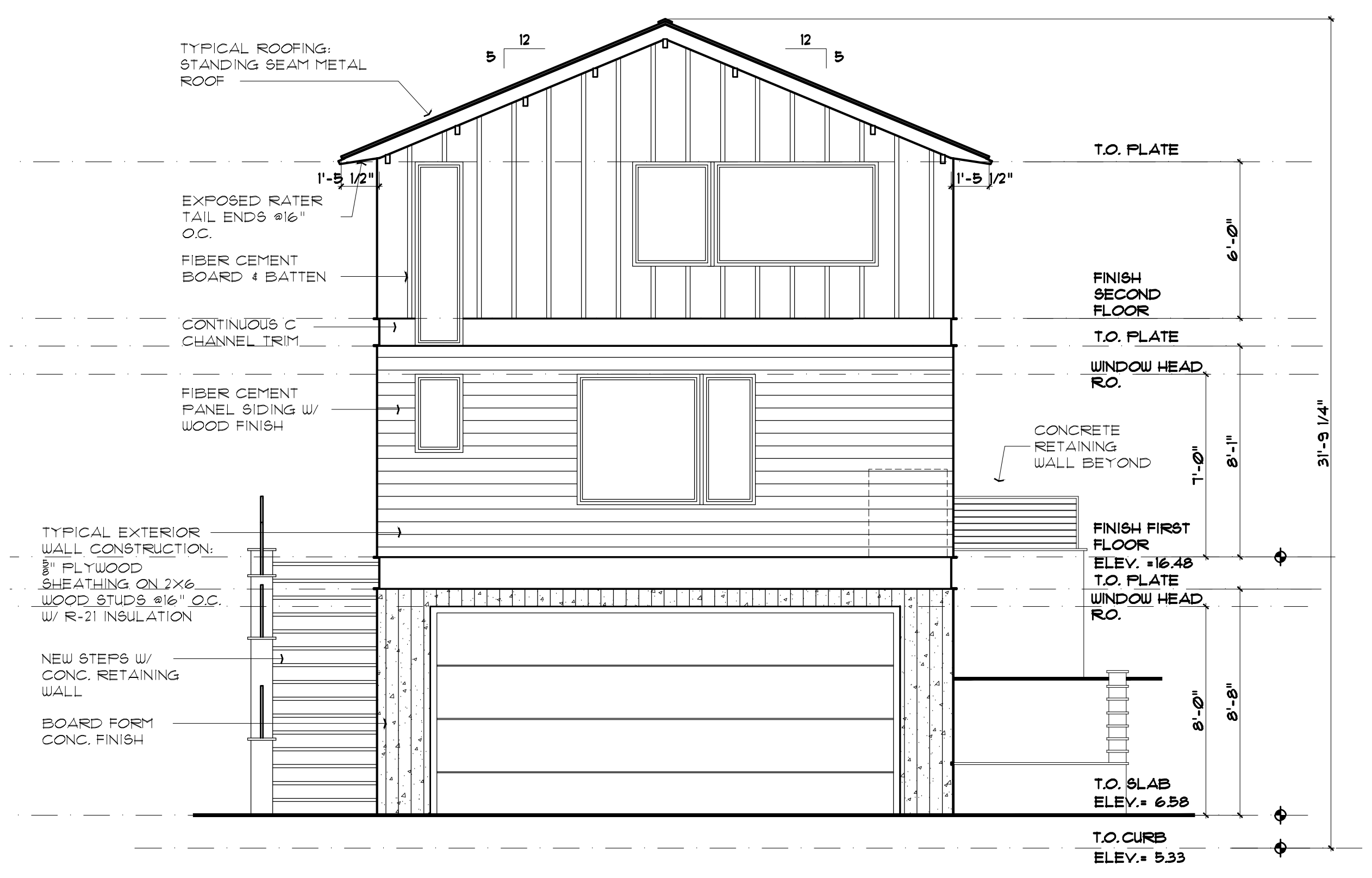
3 336 First Avenue  
East Elevation  
SCALE: 1/4" = 1'-0"

NOTE:  
SEE WEST ELEVATION DRAWING FOR NOTATIONS & DIMENSIONS @ SIMILAR AND TYPICAL CONDITIONS



2 336 First Avenue  
South Elevation  
SCALE: 1/4" = 1'-0"

TYPICAL ROOFING:  
STANDING SEAM METAL ROOF



1 336 First Avenue  
West Elevation  
SCALE: 1/4" = 1'-0"